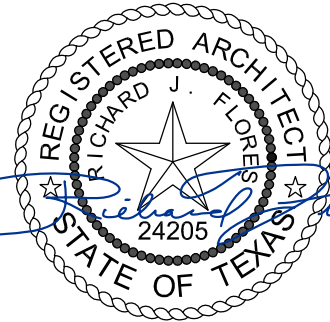




ADDENDUM NO. 1
APRIL 25, 2024

PROJECT: McMURRY UNIVERSITY
COOKE BUILDING CLASSROOM REMODEL

BID DATE: APRIL 30, 2024



04-25-2024

The following changes and/or additions shall be made to the Plans, Specifications, and Contract Documents for the above referenced project. Proposer shall acknowledge receipt of this Addendum on the Construction Costs Form.

GENERAL

Item #G1 A non-mandatory pre-proposal conference was held at McMurry University, Cooke Building, Classroom 106 at 4:00pm April 18, 2024. See attached list of attendees.

SPECIFICATIONS

Item #S1 00 42 00 Construction Costs Form: REPLACE the existing section with the attached revised Section 00 42 00 Construction Costs Form.

Item #S2 01 23 00 Alternates: REPLACE the existing section with the attached revised Section 01 23 00 Alternates to delete reference to an electrical panel upgrade.

Item #S3 12 24 00 Roller Shades: REPLACE the existing section with the attached revised Section 12 24 00 Roller Shades to address different fabric types required with the Base Bid and Alternate No. One Window Replacement.

DRAWINGS

Item #D1 A2.1 Enlarged Plans – RM 106: REPLACE the existing sheet with the attached revised sheet A2.1 Enlarged Plans – RM 106 which revises keyed notes in regard to Alternates, windows, and manual roller shades.

Item #D2 A2.2 Enlarged Plans – RM 108: REPLACE the existing sheet with the attached revised sheet A2.2 Enlarged Plans – RM 108 which revises keyed notes in regard to Alternates, windows, and manual roller shades.

Item #D3 A2.3 Enlarged Plans – RM 110: REPLACE the existing sheet with the attached revised sheet A2.3 Enlarged Plans – RM 110 which revises keyed notes in regard to Alternates, windows, and manual roller shades.



- Item #D4** A3.0 Room Finish Schedule and Window Details: REPLACE the existing sheet with the attached revised sheet A3.0 Room Finish Schedule and Window Details which revises notes in regard to Alternates and windows.
- Item #D5** A6.0 Interior Elevations: REPLACE the existing sheet with the attached sheet A6.0 Interior Elevations which revises notes in regard to roller shades.
- Item #D6** E2.0 Basement Plan & Electrical One-Line: DELETE Keyed Note 26.01 from sheet.

END OF ADDENDUM

MCMURRY UNIVERSITY
COOKE BUILDING CLASSROOM REMODEL
PRE-PROPOSAL CONFERENCE SIGN-IN SHEET
APRIL 18, 2024 at 4:00 PM

Name

Company

Telephone #

1. Jesse Ohoia Kingdom Electric 325-669-5632
2. Joel Faulkner Justice Construction 325-695-0427
3. Brent Bunkley Bunkley Electric 325-677-4460
4. Jed Crowe Crowe Group 325-676-0132
5. Michael Arango ONIX SOLUTIONS 325 374-0492
6. Stephen Davis Long Electric 325-725-5060
7. Kendon Draper King Consultants 325-725-4452
8. Hunter Hollingsworth Sullivan Contracting Services 830-793-2470
9. KEATON TRINKLE Sullivan Contracting Services (254) ⁴¹³⁻⁷³²⁰ ~~485-08~~
10. _____
11. _____
12. _____

SECTION 00 42 00 - CONSTRUCTION COSTS FORM

Project Name: McMurry Cooke Building Classroom Remodel

Name of Proposer:

The Undersigned, in compliance with Advertisement of Proposals, has received and examined Contract Documents and conditions regarding this project and, having examined site of this project, propose to:

1. Hold proposal valid for at least 30 days after submission date.
2. Enter into and execute a contract, if awarded on the basis of this proposal and to furnish required bonds and insurance coverage.
3. Accomplish Work in accordance with Contract Documents.
4. Complete Work by the time stipulated in Proposal and under conditions described in Contract documents.
5. Accept all the provisions, terms and conditions of this proposal.

ACKNOWLEDGEMENT OF ADDENDA:

- Proposer acknowledges receipt of Addenda Nos. _____ through _____ and that the Proposals contained herein are offered in after review and consideration of same.
- To the best of the Proposer's knowledge, no Addenda have been issued.

BASE PROPOSAL (Includes General, Mechanical, Plumbing, and Electrical Construction per plans and specifications and **all allowances as specified in Section 01 21 00:**

Numerical Dollars _____

Written in Words _____

ADD ALTERNATE NO. ONE – Installation of exterior aluminum storefront assemblies with project-out integral windows within existing rough openings.

Numerical Dollars _____

Written in Words _____

DEVIATION TO CONSTRUCTION DOCUMENTS: Contractor shall list proposed deviations to the construction documents. _____

CONSTRUCTION DURATION: Undersigned hereby agrees to complete all Work as specified in Contract Documents, and as listed below, for all phases from date of Notice to Proceed.

List Contractor's proposed construction duration (in calendar days) from issuance of Notice to Proceed:

_____ days

WARRANTY RESPONSE TIME:

List Contractor's warranty response time from initial notification from OWNER: _____

PROPOSED PROJECT TEAM:

Electrical: _____

Drywall/Painting: _____

Windows/Glazing: _____

Flooring: _____

Ceilings: _____

PROPOSED GENERAL CONTRACTOR PERSONNEL:

Project Manager: _____

Superintendent: _____

By signing this Execution of Offer, I do hereby declare that I have read the Request for Competitive Sealed Proposal, on which our Proposal is submitted and had made an investigation such that Proposer is fully informed of the conditions, facilities, difficulties, restrictions and requirements which Proposer will, or may encounter in the completion of the Project, and with full knowledge of the requirements, and does hereby agree to execute a contract for above work, for stated compensation. Undersigned further agrees, if awarded contract, to execute and deliver to Architect within 10 days after contract signing, a Performance Bond (if accepted by owner) and Labor and Material Payment Bond equal to 100% of contract sum in accordance with Proposal.

Name of Contracting Firm: _____

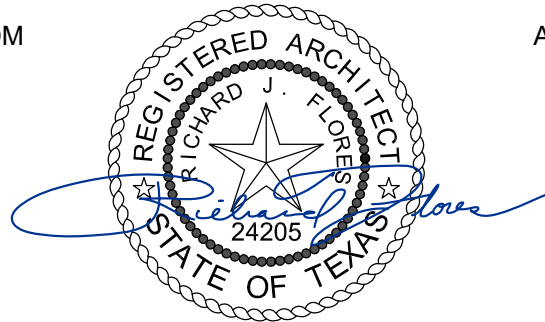
Address: _____

Authorized Signature: _____

Printed Name: _____

Title: _____

SEAL – If bid is by a corporation.



04-25-2024

SECTION 01 23 00 - ALTERNATES

PART 1 GENERAL

1.1 SECTION INCLUDES

- A. Description of Alternates.
- B. Procedures for pricing Alternates.

1.2 RELATED REQUIREMENTS

- A. Document 00 52 00 - Agreement Form: Incorporating monetary value of accepted Alternates.

1.3 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to or deducted from the base bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
 - 2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.

1.4 PROCEDURES

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.

1.5 ACCEPTANCE OF ALTERNATES

- A. Alternates quoted on Bid Forms will be reviewed and accepted or rejected at OWNER's option. Accepted Alternates will be identified in the Owner-Contractor Agreement.
- B. Coordinate related work and modify surrounding work to integrate the Work of each Alternate.

1.6 SCHEDULE OF ALTERNATES

- A. Alternate No. One - Exterior Window Replacement:
 - 1. Installation of exterior aluminum storefront assemblies with project-out integral windows within existing rough openings.

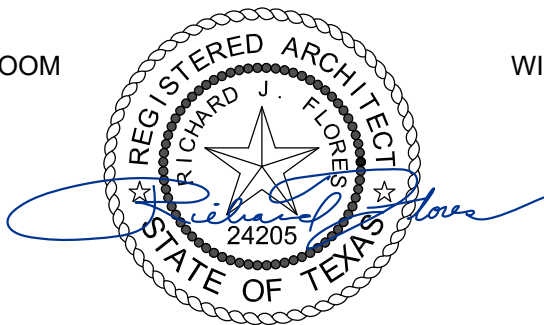
PART 2 PRODUCTS - NOT USED

PART 3 EXECUTION - NOT USED

END OF SECTION



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04-25-2024

SECTION 12 24 00 - WINDOW SHADES

PART 1 GENERAL

1.1 SECTION INCLUDES

- A. Interior manual roller shades.

1.2 REFERENCE STANDARDS

- A. NFPA 701 - Standard Methods of Fire Tests for Flame Propagation of Textiles and Films; 2015.

1.3 SUBMITTALS

- A. See Section 01 30 00 - Administrative Requirements, for submittal procedures.
- B. Product Data: Provide manufacturer's standard catalog pages and data sheets, including materials, finishes, fabrication details, dimensions, profiles, mounting requirements, and accessories.
- C. Shop Drawings: Include shade schedule indicating size, location and keys to details, head, jamb and sill details, mounting dimension requirements for each product and condition, and operation direction.
- D. Manufacturer's Instructions: Include instructions for storage, handling, protection, examination, preparation, and installation of product.
- E. Operation and Maintenance Data: List of all components with part numbers, sources of supply, and operation and maintenance instructions; include copy of shop drawings.

1.4 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Company specializing in manufacturing products specified in this section, with not less than five years of documented experience.
- B. Installer Qualifications: Company specializing in performing work of this type with minimum 3 years of experience with shading systems of similar size and type.

1.5 DELIVERY, STORAGE, AND HANDLING

- A. Deliver shades in manufacturer's unopened packaging, labeled to identify each shade for each opening.
- B. Handle and store shades in accordance with manufacturer's recommendations.

1.6 FIELD CONDITIONS

PART 2 PRODUCTS

2.1 MANUFACTURERS

- A. Interior Manually Operated Roller Shades:
 - 1. Hunter Douglas Architectural; RB500 Manual Roller Shades: www.hunterdouglasarchitectural.com/#sle.
 - 2. Substitutions: See Section 01 60 00 - Product Requirements.
- B. Source Limitations: Furnish products produced by a single manufacturer and obtained from a single supplier.

2.2 ROLLER SHADES

- A. General:
 - 1. Provide shade system components that are easy to remove or adjust without removal of mounted shade brackets.
 - 2. Provide shade system that operates smoothly when shades are raised or lowered.
- B. Roller Shades:
 - 1. Description - Interior Roller Shades: Single or coupled roller, manually operated fabric window shade system complete with mounting brackets, roller tubes, hembars, hardware, and accessories.
 - a. Drop Position: Regular roll.
 - b. Roll Direction: Roll down, closed position is at window sill.



- c. Mounting: Ceiling mounted.
- d. Size: As indicated on drawings.
- e. Fabric: As indicated under Shade Fabric article.
- 2. Brackets and Mounting Hardware: As recommended by manufacturer for mounting indicated and to accommodate shade fabric roll-up size and weight.
 - a. Multiple Shade Operation: Provide hardware as necessary to operate more than one shade using a single clutch operator.
- 3. Roller Tubes: As required for type of shade operation.
- 4. Hembars: Designed to maintain bottom of shade straight and flat.
- 5. Manual Operation for Interior Shades:
 - a. Clutch Operator: Manufacturer's standard material and design, permanently lubricated.
 - b. Drive Chain: Continuous loop beaded ball chain, 95 lb minimum breaking strength. Provide upper and lower limit stops.
 - c. Chain Retainer:
 - 1) Manufacturer's standard clip

2.3 SHADE FABRIC

- A. Fabric: Nonflammable, color-fast, impervious to heat and moisture, and able to retain its shape under normal operation.
 - 1. Material: Vinyl coated fiberglass.
 - 2. Performance Requirements:
 - a. Flammability: Pass NFPA 701 large and small tests.
 - 3. BASE BID FABRIC SELECTION
 - a. Openness Factor: 1 percent.
 - b. Color: LV Classics, Oyster/Pearl Gray
 - 4. ALTERNATE NO. ONE FABRIC SELECTION
 - a. Openness Factor: 5 percent
 - b. Color: LV Classics, Charcoal/Gray

2.4 ROLLER SHADE FABRICATION

- A. Field measure finished openings prior to ordering or fabrication.
- B. Dimensional Tolerances: Fabricate shades to fit openings within specified tolerances.
 - 1. Vertical Dimensions: Fill openings from head to sill with 1/2 inch space between bottom bar and window sill.
 - 2. Horizontal Dimensions - Outside Mounting: Extend shades 2 inches beyond jambs on each side.
- C. At openings requiring continuous multiple shade units with separate rollers, locate roller joints at window mullion centers; butt rollers end-to-end.

PART 3 EXECUTION

3.1 INSTALLATION

- A. Install in accordance with manufacturer's instructions and approved shop drawings, using mounting devices as indicated.
- B. Adjust level, projection, and shade centering from mounting bracket. Verify there is no telescoping of shade fabric. Ensure smooth shade operation.

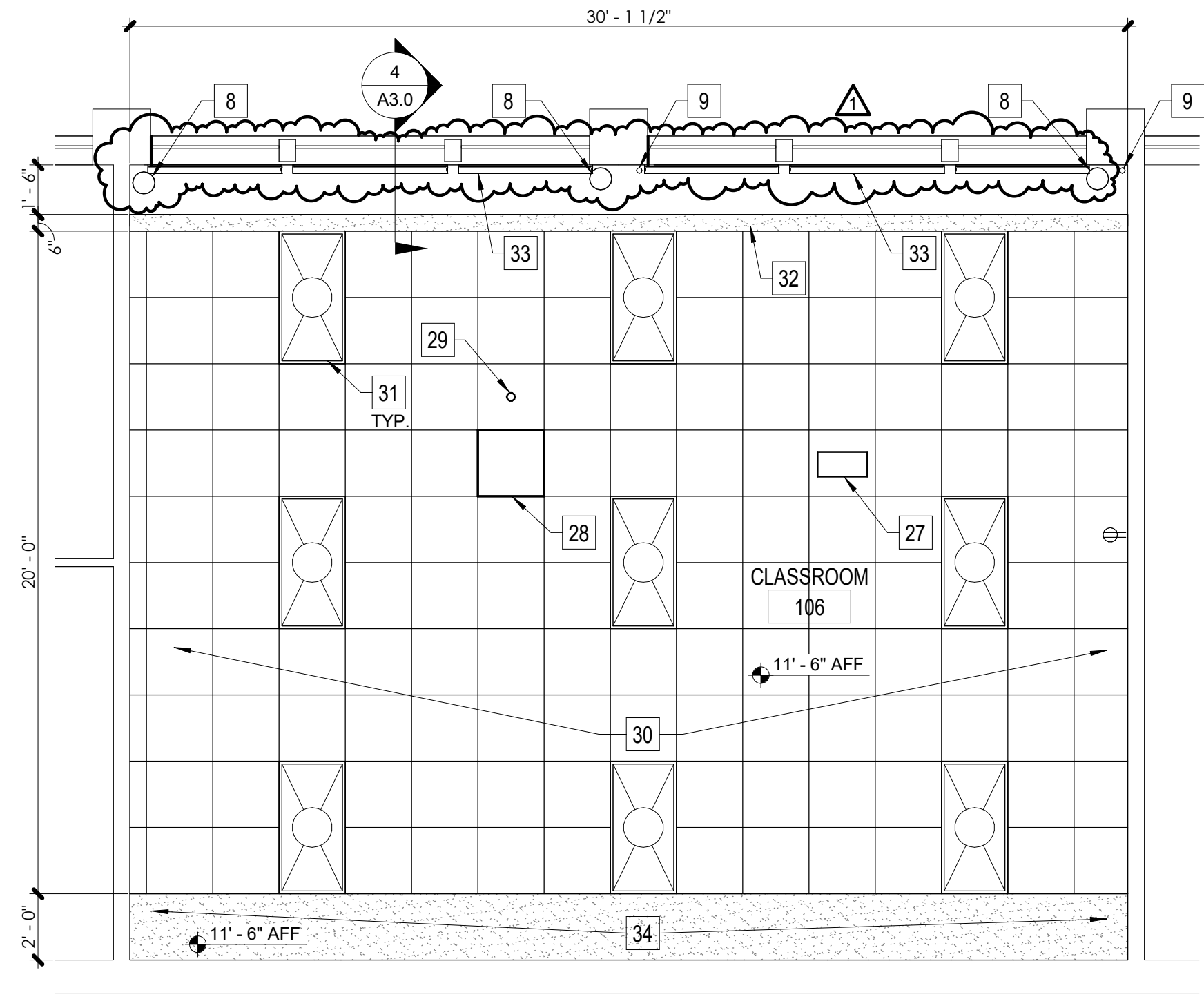
3.2 CLEANING

- A. Clean soiled shades and exposed components as recommended by manufacturer.
- B. Replace shades that cannot be cleaned to "like new" condition.

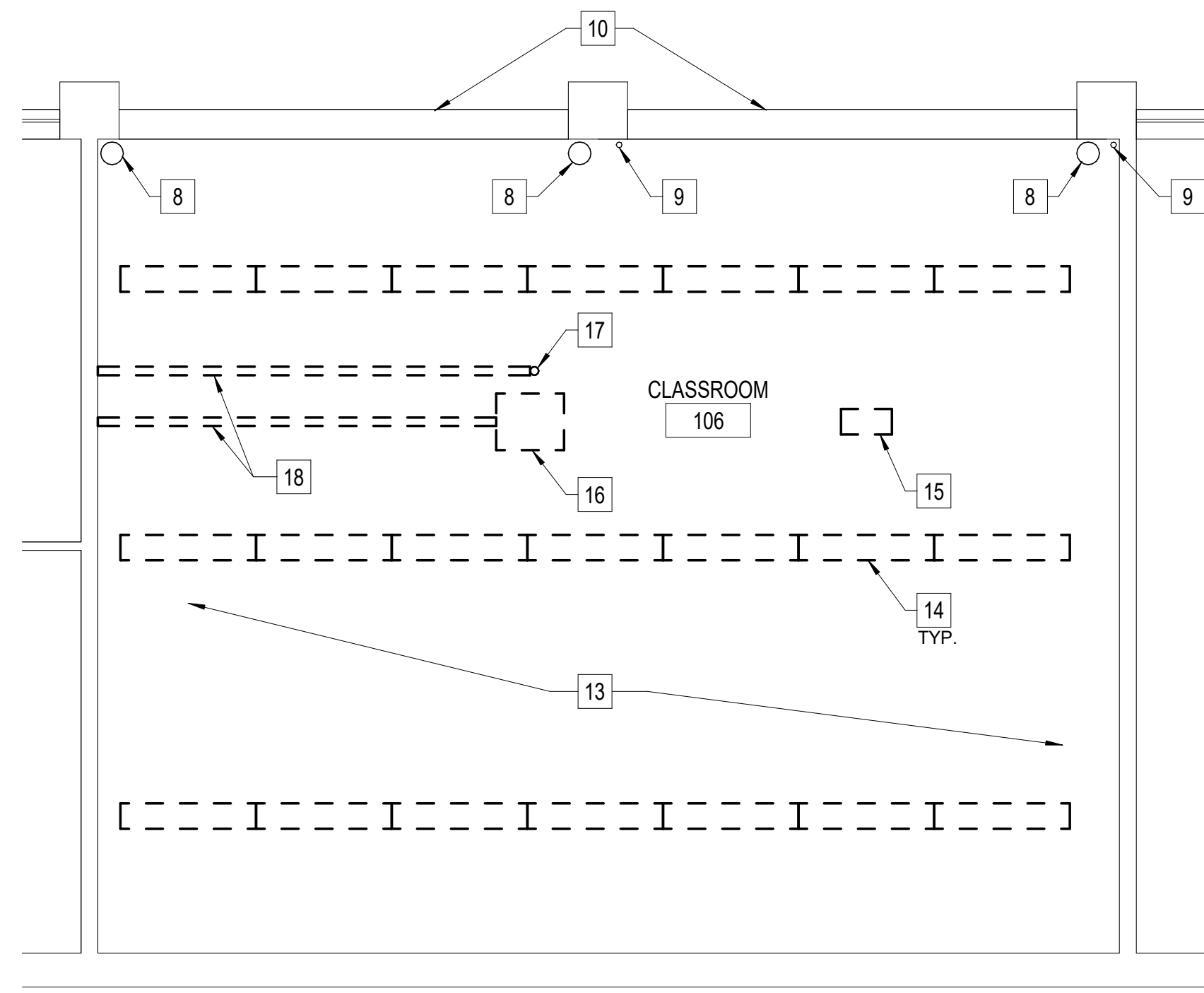
3.3 PROTECTION

- A. Protect installed products from subsequent construction operations.

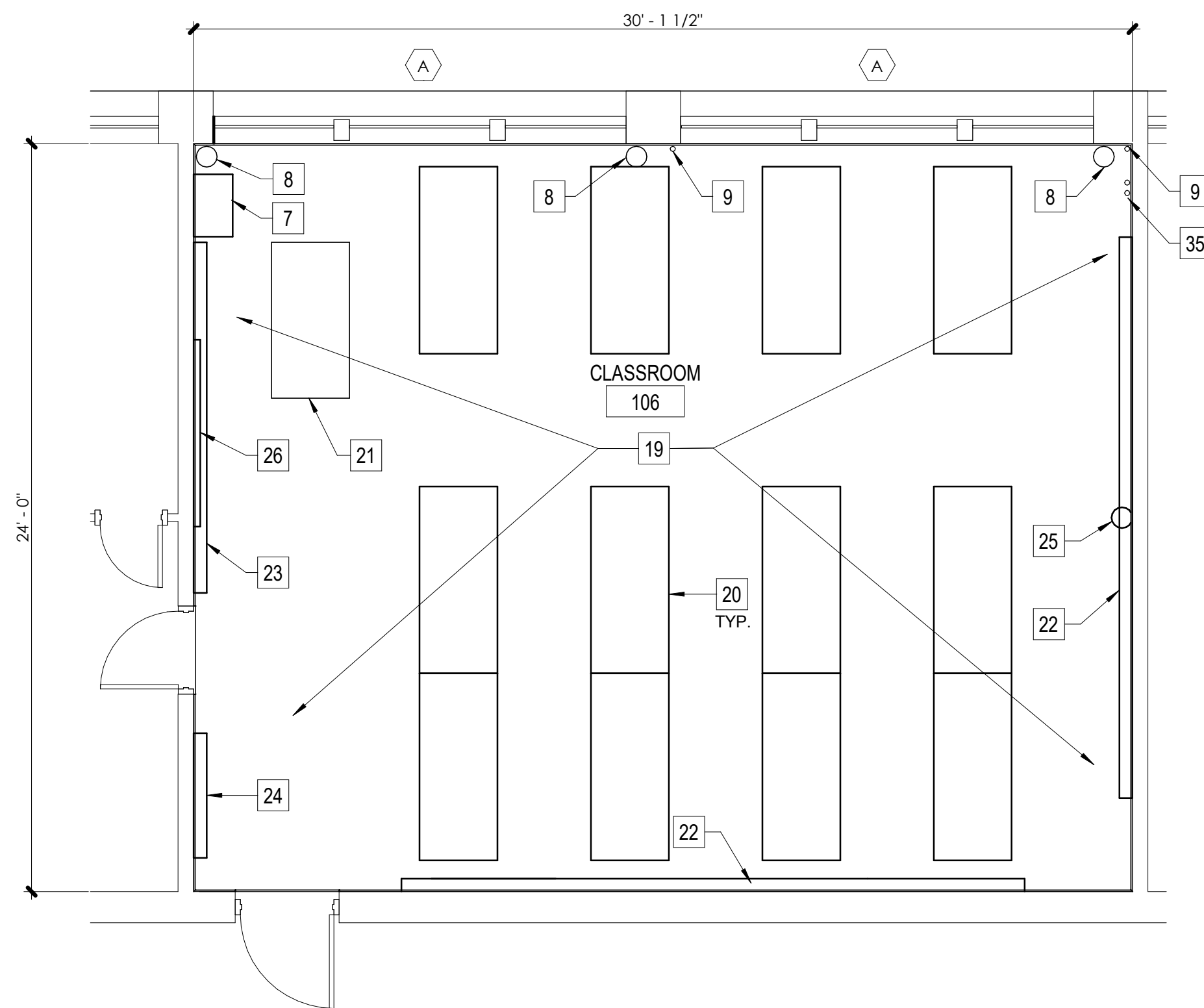
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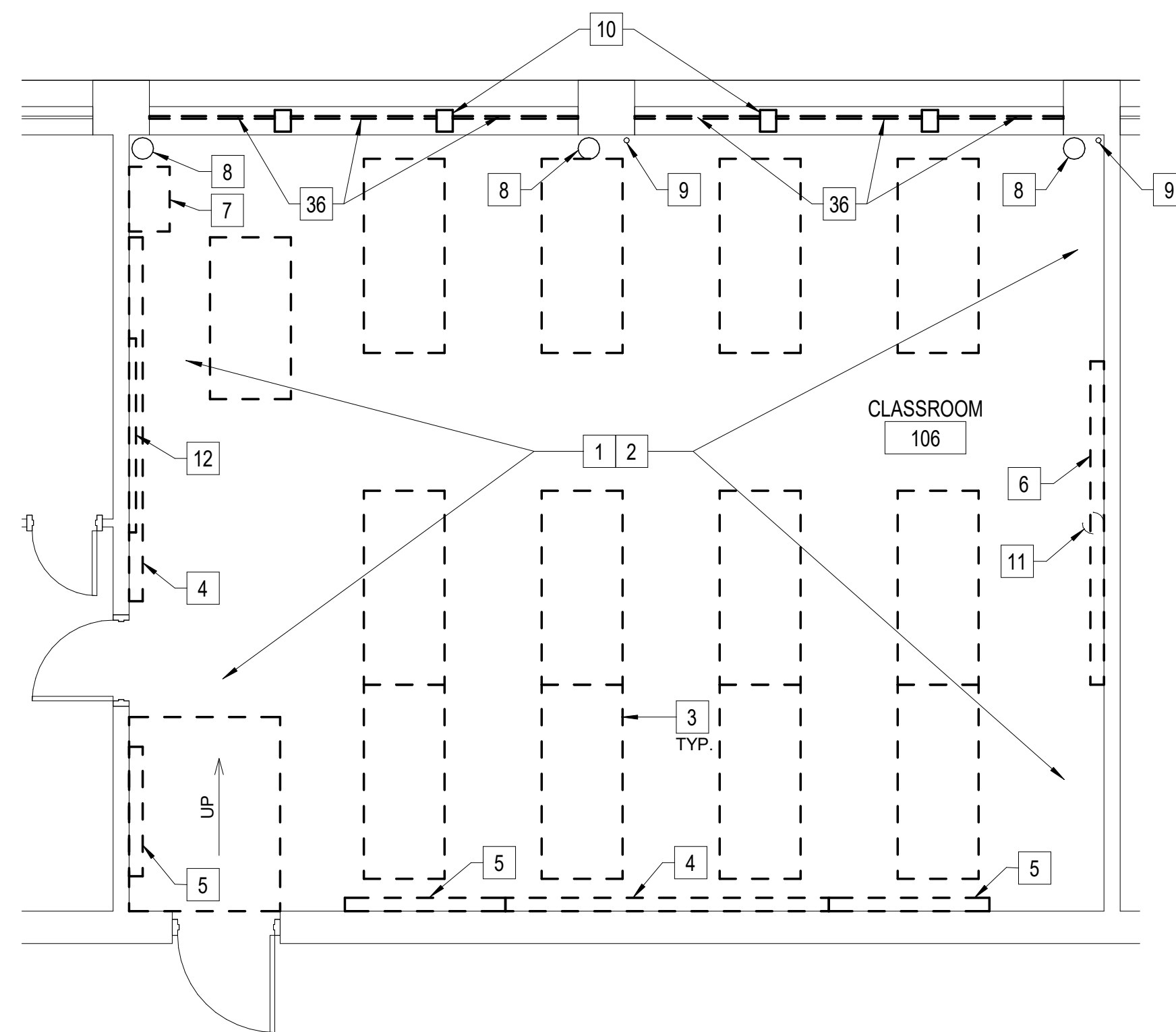
4 NEW ENLARGED REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



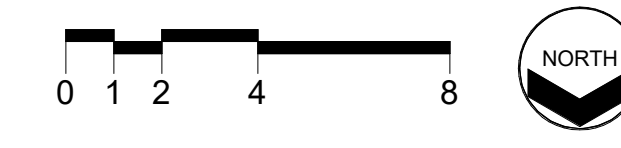
3 DEMO ENLARGED REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



2 NEW ENLARGED FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 DEMO ENLARGED FLOOR PLAN
SCALE: 1/4" = 1'-0"



GENERAL NOTES

- THE FOLLOWING NOTES APPLY TO ALL PLAN SHEETS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCY TO THE ARCHITECT FOR CORRECTION BEFORE PROCEEDING WITH CONSTRUCTION.
- ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD OR FACE OF MASONRY.
- BLOCKING SHALL BE REQUIRED IN ALL STUD WALLS TO RECEIVE HANDRAILS, GRAB BARS, SHELVING, DOOR STOPS, AND ALL OTHER SIMILAR ITEMS REQUIRING A SECURE ANCHOR.
- THE GENERAL CONTRACTOR WILL BE REQUIRED TO COORDINATE ALL TRADES AS NECESSARY TO INSTALL ALL HANGING DEVICES FOR INSTALLATION OF ALL PIPING, MECHANICAL AND ELECTRICAL SYSTEMS.
- REFER TO MEP SHEETS FOR ADDITIONAL REQUIREMENTS.
- REFER TO SPECIFICATION 01 23 00 ALTERNATES FOR SCHEDULE OF ALTERNATES.

DEMOLITION GENERAL NOTES

- PROVIDE NECESSARY PROTECTION TO INSURE THE SAFE PASSAGE OF PERSONS AROUND THE AREA OF DEMOLITION TO PREVENT DAMAGE TO THE ADJACENT MATERIALS. MAINTAIN CLEAR CORRIDORS AND FIRE EXITS AT ALL TIMES.
- OWNER WILL REMOVE ALL ASBESTOS MATERIAL AND OTHER RELATED MATERIALS PRIOR TO THE STARTING OF THE PROJECT OR DURING THE PROJECT UNDER SEPARATE CONTRACT. OWNER WILL SCHEDULE THIS WORK TO COORDINATE WITH CONTRACTOR'S SCHEDULE.
- EXISTING ITEMS CONCEALED AND NOT DISTURBED SHALL BE ABANDONED IN PLACE AFTER THEY ARE RENDERED HARMLESS AND USELESS.
- ALL ITEMS OR MATERIALS REMOVED FROM THE PROJECT SHALL BE MADE AVAILABLE FOR OWNER'S INSPECTION WITH THE OWNER RETAINING THE OPTION TO CLAIM ANY ITEM OR MATERIAL. ALL CLAIMED ITEMS AND MATERIALS BY THE OWNER SHALL REMAIN ON THE SITE. ALL OTHER ITEMS SHALL BE REMOVED FROM THE SITE.
- ALL DEMOLITION REQUIRED FOR PENETRATIONS THRU STRUCTURAL WALLS MUST BE MADE ONLY AFTER INVESTIGATION OF ACTUAL CONDITIONS (WHICH MAY OR MAY NOT BE THE SAME AS RECORDED DOCUMENTS INDICATE). PROVIDE SHORING AND BRACING AS REQUIRED FOR SPECIFIC LOCATIONS. VERIFY WITH ARCHITECT.
- EXISTING DOORS AND FRAMES SHALL REMAIN UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL SITE VERIFY ALL CONDITIONS AND MEET ALL CITY OF ABILENE CODES. ALL WORK SHALL BE EXECUTED IN STRICT ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES, ORDINANCES, AND REGULATIONS GOVERNING THE PARTICULAR CLASS OF WORK INVOLVED AS INTERPRETED BY THE INSPECTING AUTHORITY.

FLOOR PLAN LEGEND

	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	ROOM TAG
	PLAN VIEW NUMBER
	SHEET REFERENCE NUMBER
	KEYED NOTE - REFER THIS SHEET

KEYED NOTES

- EXISTING RAISED ACCESS FLOORING TO BE REMOVED BY OWNER.
- EXISTING ASBESTOS-CONTAINING FLOORING TO BE REMOVED BY OTHERS.
- EXISTING MOVEABLE DESKS TO BE SALVAGED AND STORED BY OWNER FOR RE-USE.
- EXISTING CHALK/MARKER BOARD TO BE REMOVED BY OTHERS.
- EXISTING CORK BOARD TO BE REMOVED BY OTHERS.
- EXISTING MARKER BOARD TO BE SALVAGED AND STORED BY OWNER FOR RE-USE.
- EXISTING DATA RACK TO REMAIN AND BE IN USE DURING PROJECT. PROTECT DURING CONSTRUCTION.
- EXISTING INSULATED HVAC PIPING TO REMAIN.
- EXISTING ELECTRICAL CONDUIT TO REMAIN.
- BID ALTERNATE NO. ONE: EXISTING WINDOW ASSEMBLY TO BE REMOVED BY OTHERS. BASE BID: EXISTING WINDOW TO REMAIN.
- EXISTING CONFERENCE CAMERA ABOVE WHITEBOARD TO BE SALVAGED AND STORED BY OWNER FOR RE-USE.
- EXISTING PROJECTION SCREEN TO BE SALVAGED AND STORED BY OWNER FOR RE-USE.
- EXISTING PLASTER CEILING WITH SQUARE ACOUSTICAL ADHERED PANELS TO BE REMOVED BY OTHERS.
- EXISTING SURFACE-MOUNTED LIGHT FIXTURES TO BE REMOVED BY OTHERS.
- EXISTING WIFI HUB TO BE SALVAGED AND STORED BY OWNER FOR RE-USE.
- EXISTING PROJECTION SCREEN TO BE SALVAGED AND STORED BY OWNER FOR RE-USE.
- EXISTING MICROPHONE AND CABLING TO BE SALVAGED AND STORED BY OWNER FOR RE-USE.
- EXISTING SURFACE-MOUNTED CONDUIT AND WIREMOLD TO BE REMOVED BY OTHERS.
- NEW FLOORING AND WALL BASE THROUGHOUT ROOM. INSTALL TRANSITIONS AT ENTRANCE DOORS.
- SALVAGED MOVEABLE COMPUTER DESKS BY OWNER.
- SALVAGED MOVEABLE TEACHING DESK BY OWNER.
- NEW 20 FT X 4 FT WHITEBOARD
- NEW 12 FT X 4 FT WHITEBOARD
- NEW 4 FT X 4 FT CORK BOARD
- SALVAGED CONFERENCE CAMERA. REINSTALL ABOVE WHITEBOARD
- SALVAGED 7 FT X 4 FT 6 IN PROJECTION SCREEN
- SALVAGED WIFI HUB TO BE INSTALLED BY OWNER
- SALVAGED PROJECTOR, ACCESSORIES, AUDIO SPEAKERS, AND AUDIO CABLING TO BE INSTALLED BY OWNER.
- SALVAGED MICROPHONE AND CABLING TO BE INSTALLED BY OWNER.
- NEW ACOUSTICAL CEILING PANELS AND GRID
- NEW LIGHTING FIXTURE. REFER TO ELECTRICAL
- PAINTED GYPSUM BOARD FURR DOWN USING SUSPENDED DRYWALL GRID FRAMING
- NEW MANUALLY-OPERATED WINDOW SHADE. PROVIDE THREE PER WINDOW ASSEMBLY. REFER TO A3.0 FOR WINDOW ELEVATION.
- PAINTED GYPSUM BOARD ON SUSPENDED DRYWALL GRID FRAMING
- NEW CONDUIT FOR POWER AND DATA AS REQUIRED; REFER TO ELECTRICAL
- EXISTING WINDOW SHADES TO BE REMOVED BY OTHERS

ISSUED FOR BID

JACOB MARTIN
TBPBLS FIRM # 10194493
TBAE FIRM # BR 2261
TBPB FIRM # 2448

MCMURRY UNIVERSITY
COOKE BUILDING CLASSROOM REMODEL

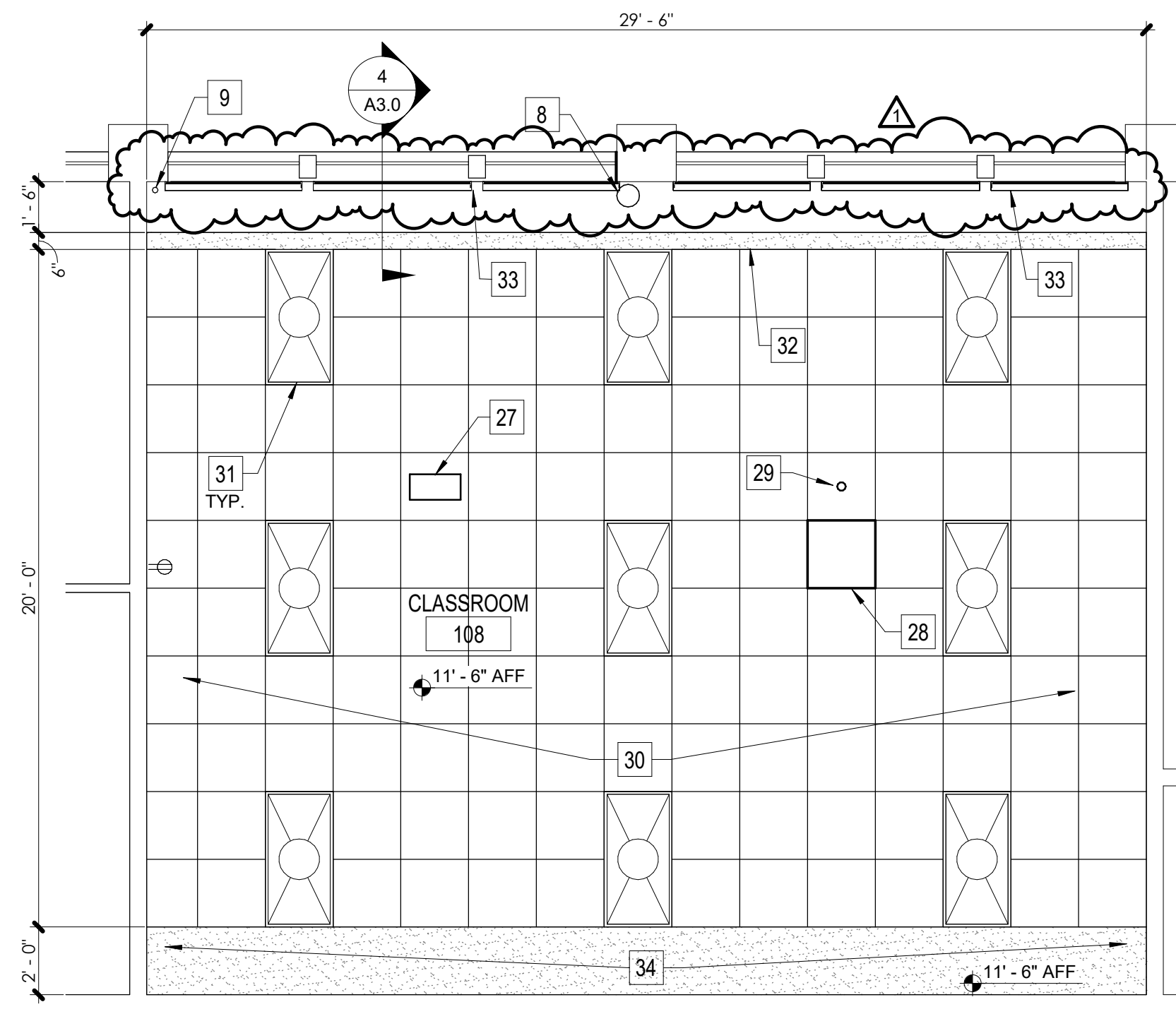
ENLARGED PLANS - RM 106

NO.	REVISION	DATE
1	ADDENDUM 1	04-25-2024

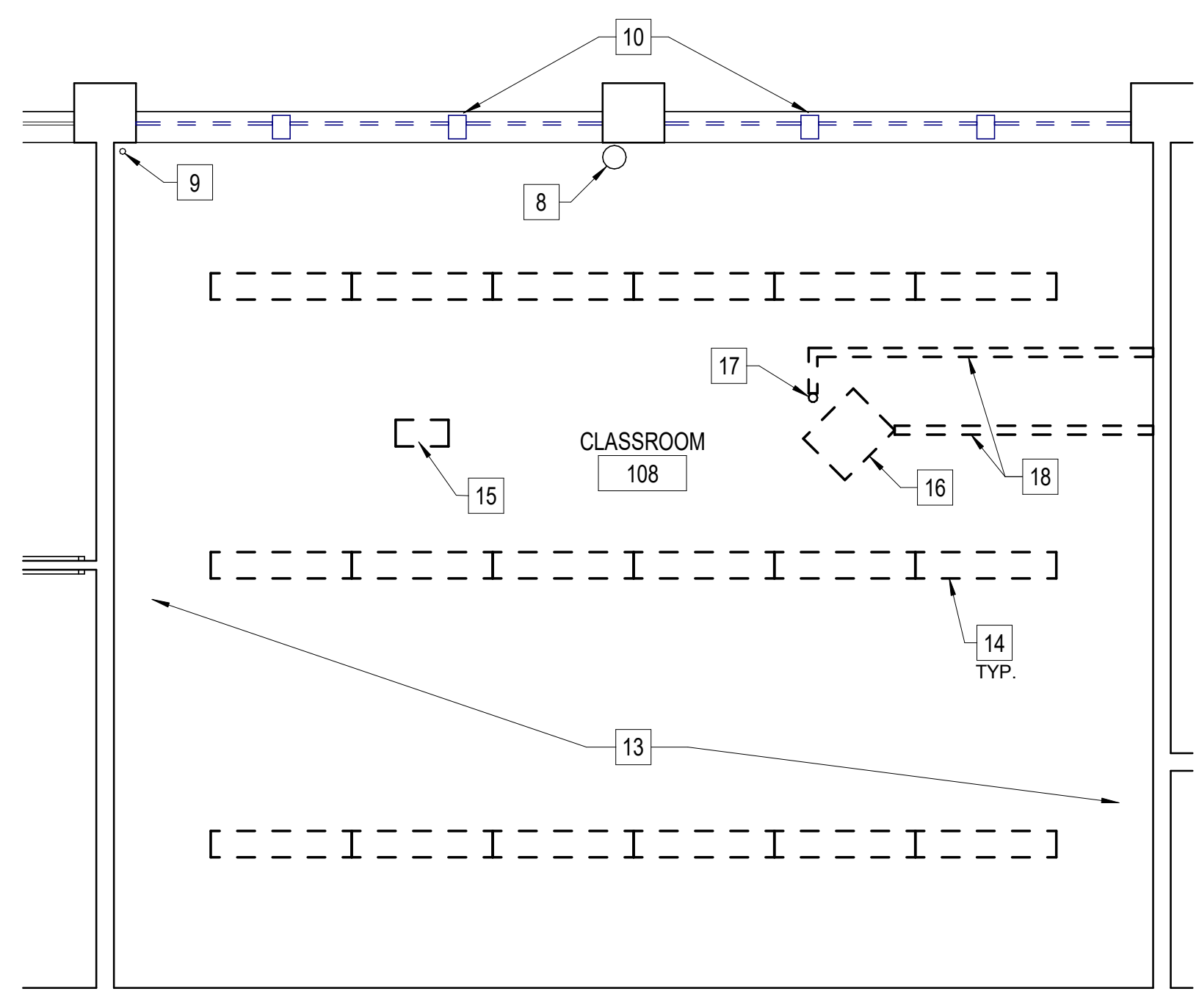
PROJECT # SCALE: 23528 - As Indicated
CHECK SCALE AND ADJUST ACCORDINGLY.

SEQ. SHEET

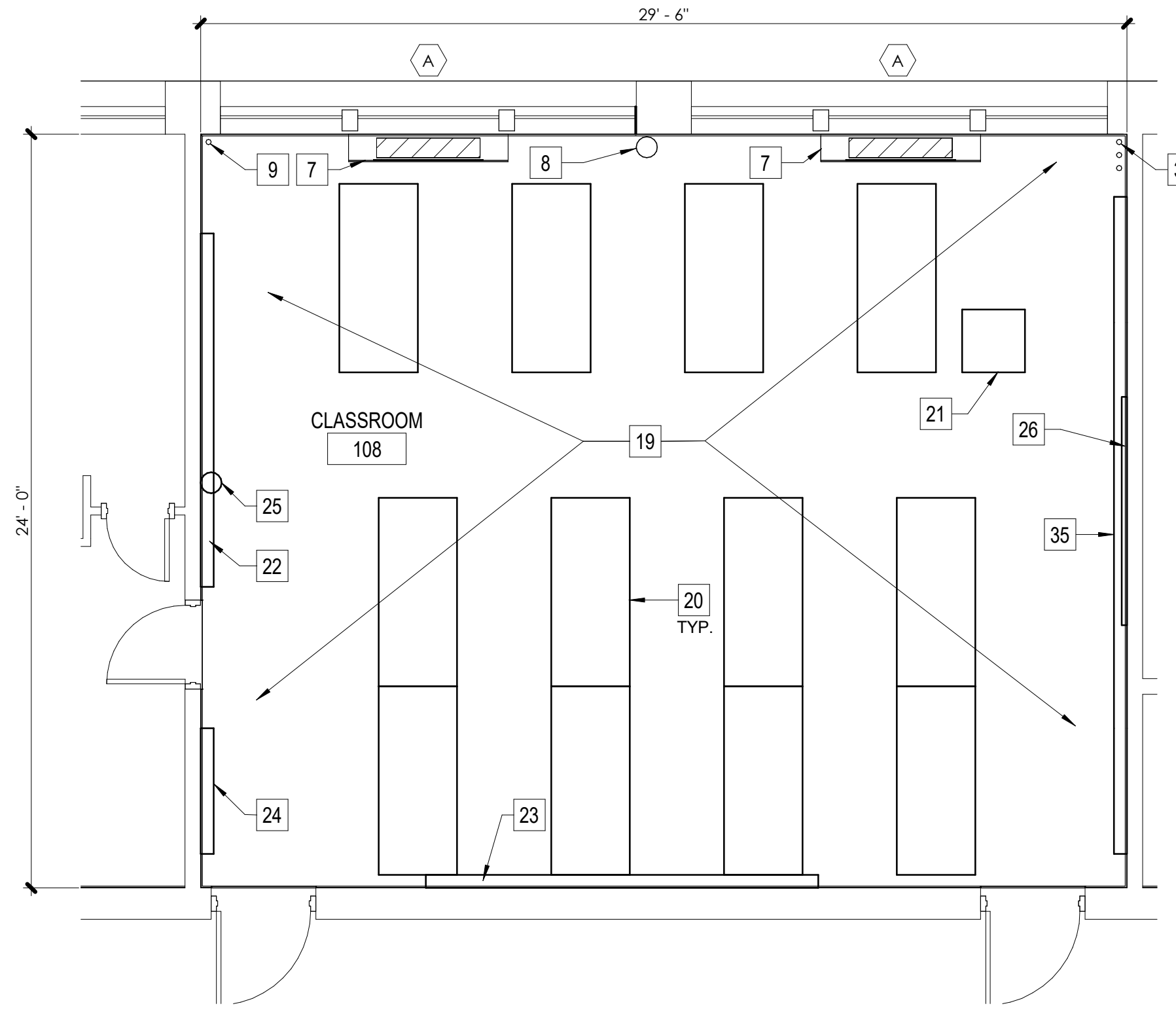
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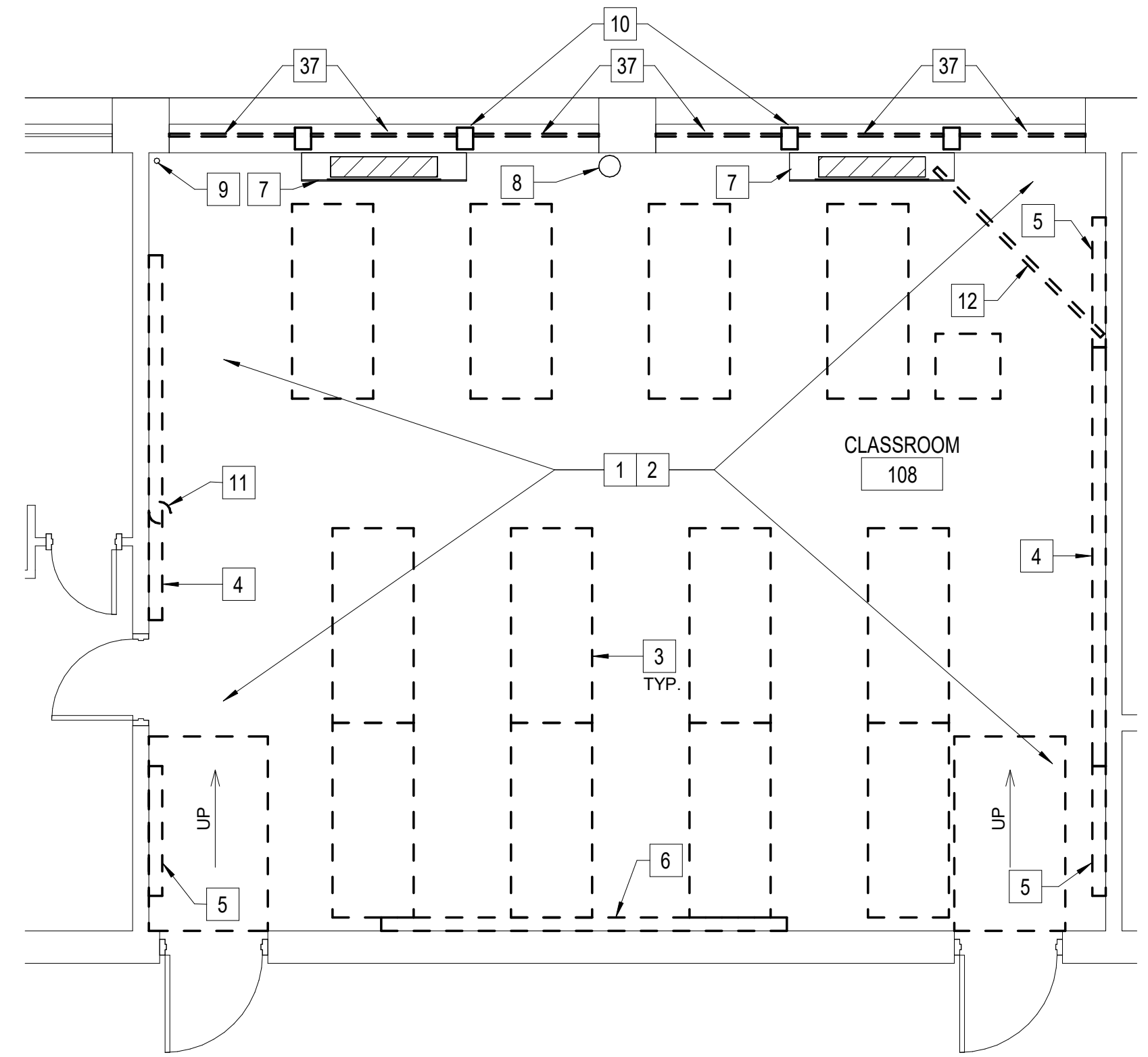
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3 DEMO ENLARGED REFLECTED CEILING PLAN
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2 NEW ENLARGED FLOOR PLAN
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1 DEMO ENLARGED FLOOR PLAN
SCALE: 1/4" = 1'-0"



GENERAL NOTES

- A. THE FOLLOWING NOTES APPLY TO ALL PLAN SHEETS.
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- C. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD OR FACE OF MASONRY.
- D. BLOCKING SHALL BE REQUIRED IN ALL STUD WALLS TO RECEIVE HANDRAILS, GRAB BARS, SHELVING, DOOR STOPS, AND ALL OTHER SIMILAR ITEMS REQUIRING A SECURE ANCHOR.
- E. THE GENERAL CONTRACTOR WILL BE REQUIRED TO COORDINATE ALL TRADES AS NECESSARY TO INSTALL ALL HANGING DEVICES FOR INSTALLATION OF ALL PIPING, MECHANICAL AND ELECTRICAL SYSTEMS.
- F. REFER TO MEP SHEETS FOR ADDITIONAL REQUIREMENTS.
- G. REFER TO SPECIFICATION 01-23-00 ALTERNATES FOR SCHEDULE OF FINISHES.

DEMOLITION NOTES

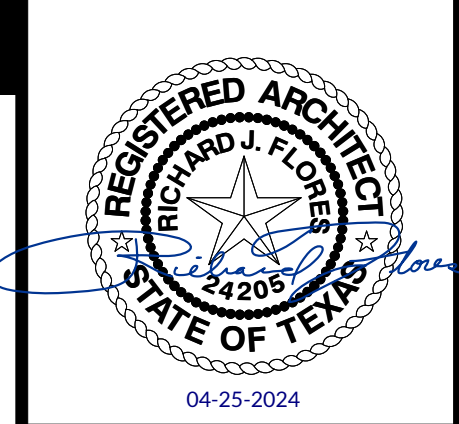
- A. PROVIDE NECESSARY PROTECTION TO INSURE THE SAFE PASSAGE OF PERSONS AROUND THE AREA OF DEMOLITION TO PREVENT DAMAGE TO THE ADJACENT MATERIALS. MAINTAIN CLEAR CORRIDORS AND FIRE EXITS AT ALL TIMES.
- B. OWNER WILL REMOVE ALL ASBESTOS MATERIAL AND OTHER RELATED MATERIALS PRIOR TO THE STARTING OF THE PROJECT OR DURING THE PROJECT UNDER SEPARATE CONTRACT. OWNER WILL SCHEDULE THIS WORK TO COORDINATE WITH CONTRACTOR'S SCHEDULE.
- C. EXISTING ITEMS CONCEALED AND NOT DISTURBED SHALL BE ABANDONED IN PLACE AFTER THEY ARE RENDERED HARMLESS AND USELESS.
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- E. ALL DEMOLITION REQUIRED FOR PENETRATIONS THRU STRUCTURAL WALLS MUST BE MADE ONLY AFTER INVESTIGATION OF ACTUAL CONDITIONS (WHICH MAY OR MAY NOT BE THE SAME AS RECORDED DOCUMENTS INDICATE). PROVIDE SHORING AND BRACING AS REQUIRED FOR SPECIFIC LOCATIONS. VERIFY WITH ARCHITECT.
- F. EXISTING DOORS AND FRAMES SHALL REMAIN UNLESS NOTED OTHERWISE.
- G. CONTRACTOR SHALL SITE VERIFY ALL CONDITIONS AND MEET ALL CITY OF ABILENE CODES. ALL WORK SHALL BE EXECUTED IN STRICT ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES, ORDINANCES, AND REGULATIONS GOVERNING THE PARTICULAR CLASS OF WORK INVOLVED AS INTERPRETED BY THE INSPECTING AUTHORITY.

FLOOR PLAN LEGEND

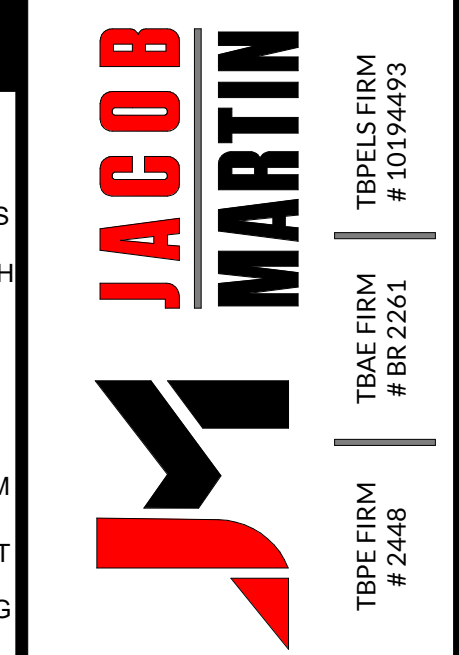
	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	ROOM TAG
	PLAN VIEW NUMBER SHEET REFERENCE NUMBER
	Ref
	KEYED NOTE - REFER THIS SHEET

KEYED NOTES

- 1 EXISTING RAISED ACCESS FLOORING TO BE REMOVED BY OWNER.
- 2 EXISTING ASBESTOS-CONTAINING FLOORING TO BE REMOVED BY OTHERS.
- 3 EXISTING MOVEABLE DESKS TO BE SALVAGED AND STORED BY OWNER FOR RE-USE.
- 4 EXISTING CHALK/MARKER BOARD TO BE REMOVED BY OTHERS.
- 5 EXISTING CORK BOARD TO BE REMOVED BY OTHERS.
- 6 EXISTING MARKER BOARD TO BE SALVAGED AND STORED BY OWNER FOR RE-USE.
- 7 EXISTING HVAC RADIATOR TO REMAIN; PROTECT DURING CONSTRUCTION. REMOVE AND REPLACE COVER AS NEEDED TO INSTALL FLOORING AND BASE.
- 8 EXISTING INSULATED HVAC PIPING TO REMAIN.
- 9 EXISTING ELECTRICAL CONDUIT TO REMAIN.
- 10 BID ALTERNATE NO. ONE: EXISTING WINDOW ASSEMBLY TO BE REMOVED BY OTHERS. BASE BID: EXISTING WINDOW TO REMAIN.
- 11 EXISTING CONFERENCE CAMERA ABOVE WHITEBOARD TO BE SALVAGED AND STORED BY OWNER FOR RE-USE.
- 12 EXISTING PROJECTION SCREEN TO BE SALVAGED AND STORED BY OWNER FOR RE-USE.
- 13 EXISTING PLASTER CEILING WITH SQUARE ACOUSTICAL ADHERED PANELS TO BE REMOVED BY OTHERS.
- 14 EXISTING SURFACE-MOUNTED LIGHT FIXTURES TO BE REMOVED BY OTHERS.
- 15 EXISTING WIFI HUB TO BE SALVAGED AND STORED BY OWNER FOR RE-USE.
- 16 EXISTING PROJECTOR, ACCESSORIES, AUDIO SPEAKERS, AND AUDIO CABLING TO BE SALVAGED AND STORED BY OWNER FOR RE-USE.
- 17 EXISTING MICROPHONE AND CABLING TO BE SALVAGED AND STORED BY OWNER FOR RE-USE.
- 18 EXISTING SURFACE-MOUNTED CONDUIT AND WIREMOLD TO BE REMOVED BY OTHERS.
- 19 NEW FLOORING AND WALL BASE THROUGHOUT ROOM. INSTALL TRANSITIONS AT ENTRANCE DOORS.
- 20 SALVAGED MOVEABLE COMPUTER DESKS BY OWNER.
- 21 SALVAGED MOVEABLE TEACHING DESK BY OWNER.
- 22 SALVAGED 12 FT X 4 FT WHITEBOARD
- 23 NEW 16 FT X 4 FT WHITEBOARD
- 24 NEW 4 FT X 4 FT CORK BOARD
- 25 SALVAGED CONFERENCE CAMERA, REINSTALL ABOVE WHITEBOARD
- 26 SALVAGED 7 FT X 5 FT 6 IN PROJECTION SCREEN
- 27 SALVAGED WIFI HUB TO BE INSTALLED BY OWNER
- 28 SALVAGED PROJECTOR, ACCESSORIES, AUDIO SPEAKERS, AND AUDIO CABLING TO BE INSTALLED BY OWNER.
- 29 SALVAGED MICROPHONE AND CABLING TO BE INSTALLED BY OWNER.
- 30 NEW ACOUSTICAL CEILING PANELS AND GRID
- 31 NEW LIGHTING FIXTURE, REFER TO ELECTRICAL
- 32 PAINTED GYPSUM BOARD FURR DOWN USING SUSPENDED DRYWALL GRID FRAMING
- 33 NEW MANUALLY-OPERATED WINDOW SHADE, PROVIDE THREE PER WINDOW ASSEMBLY. REFER TO A3.0 FOR WINDOW ELEVATION.
- 34 PAINTED GYPSUM BOARD ON SUSPENDED DRYWALL GRID FRAMING
- 35 NEW 20 FT X 4 FT WHITEBOARD
- 36 NEW CONDUIT FOR POWER AND DATA AS REQUIRED; REFER TO ELECTRICAL
- 37 EXISTING WINDOW SHADES TO BE REMOVED BY OTHERS

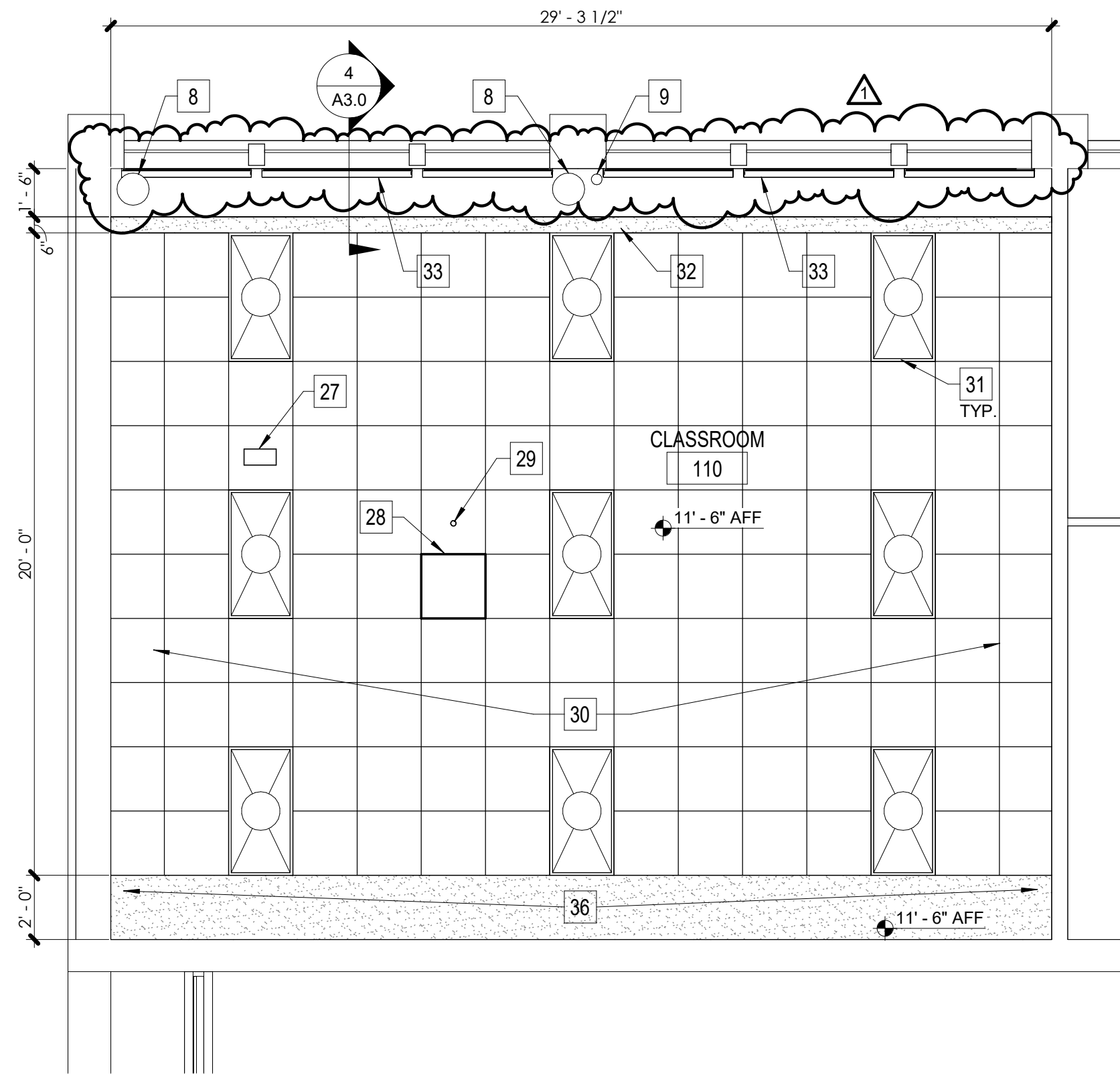


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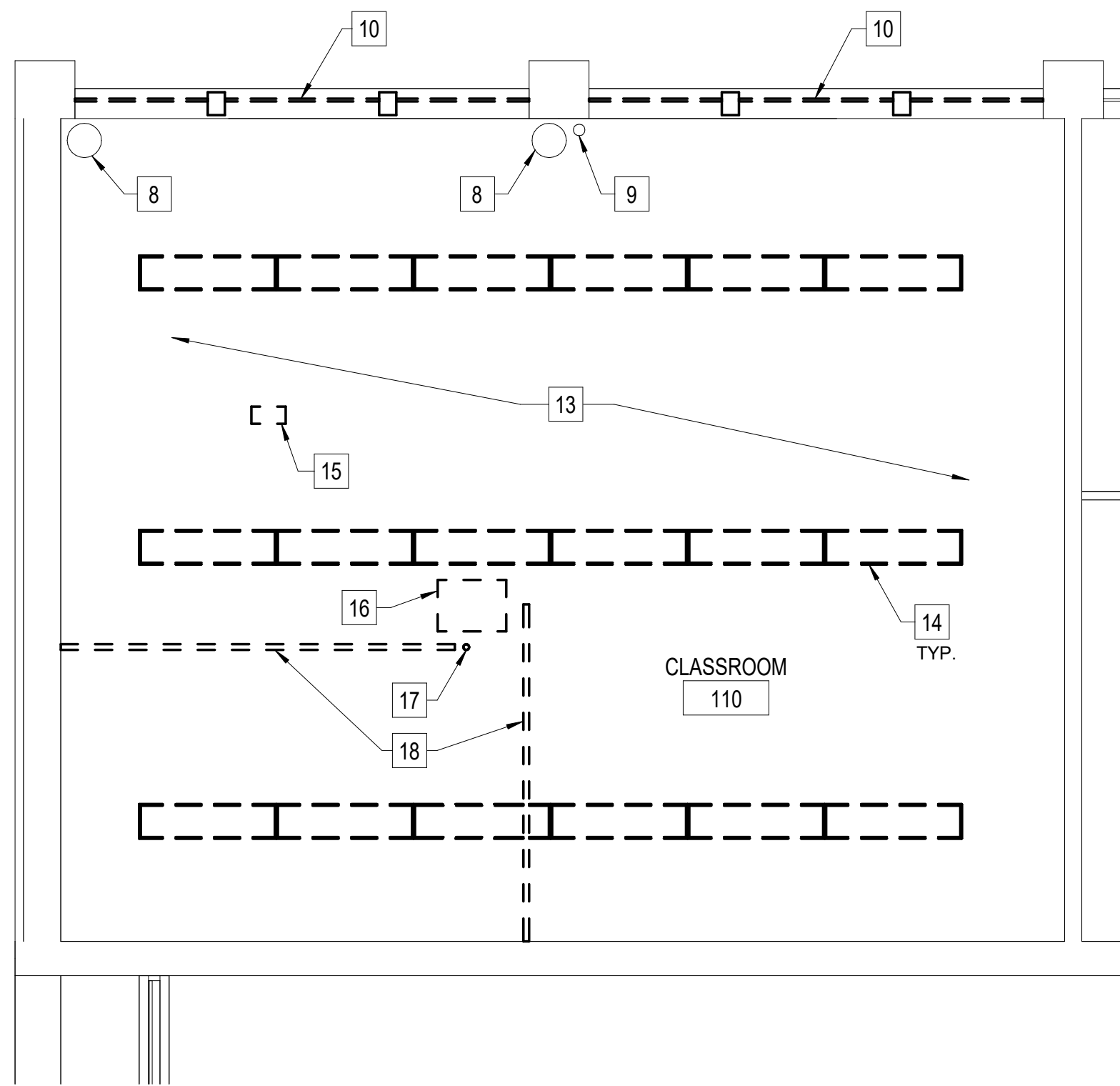


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 COOKE BUILDING CLASSROOM REMODEL
 ENLARGED PLANS - RM 108

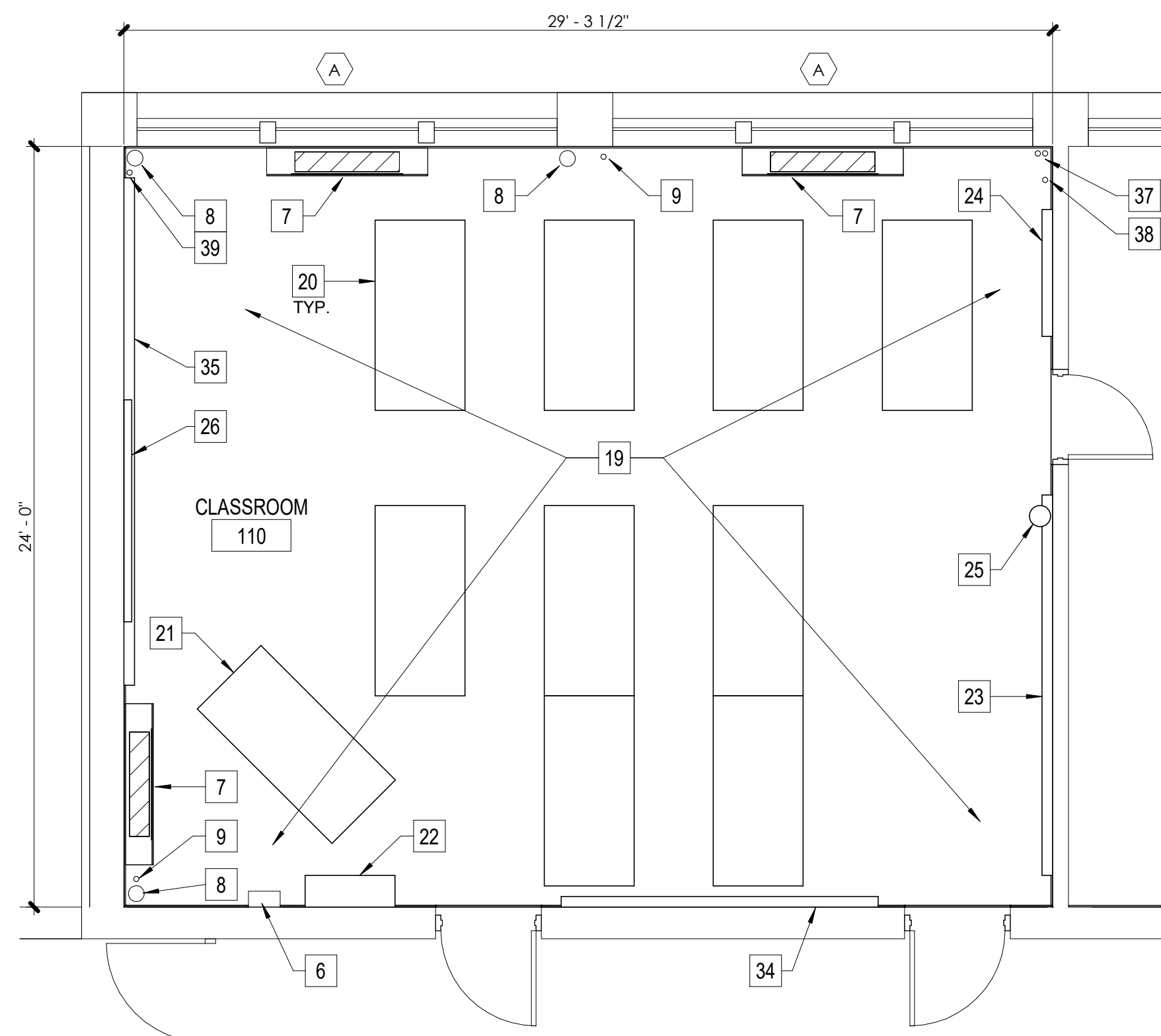
NO.	REVISION	DATE	BY
1	ADDENDUM 1	04-25-2024	
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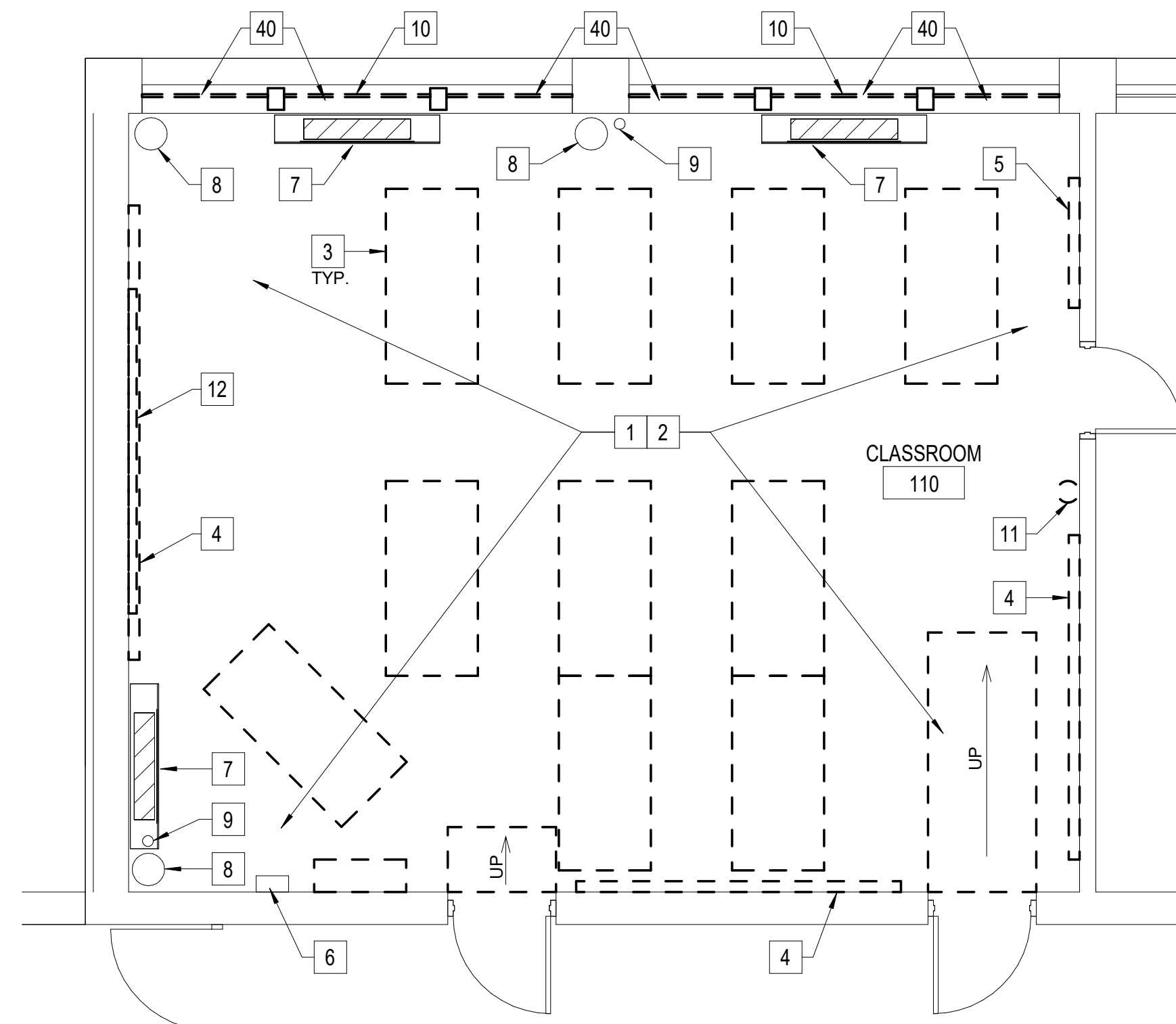
4 NEW ENLARGED REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



3 DEMO ENLARGED REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



2 NEW ENLARGED FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 DEMO ENLARGED FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- A. THE FOLLOWING NOTES APPLY TO ALL PLAN SHEETS.
- B. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCY TO THE ARCHITECT FOR CORRECTION BEFORE PROCEEDING WITH CONSTRUCTION.
- C. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD OR FACE OF MASONRY.
- D. BLOCKING SHALL BE REQUIRED IN ALL STUD WALLS TO RECEIVE HANDRAILS, GRAB BARS, SHELVING, DOOR STOPS, AND ALL OTHER SIMILAR ITEMS REQUIRING A SECURE ANCHOR.
- E. THE GENERAL CONTRACTOR WILL BE REQUIRED TO COORDINATE ALL TRADES AS NECESSARY TO INSTALL ALL HANGING DEVICES FOR INSTALLATION OF ALL PIPING, MECHANICAL AND ELECTRICAL SYSTEMS.
- F. REFER TO MEP SHEETS FOR ADDITIONAL REQUIREMENTS.
- G. REFER TO SPECIFICATION 01 23 00 ALTERNATES FOR SCHEDULE OF ALTERNATES.

DEMOLITION GENERAL NOTES

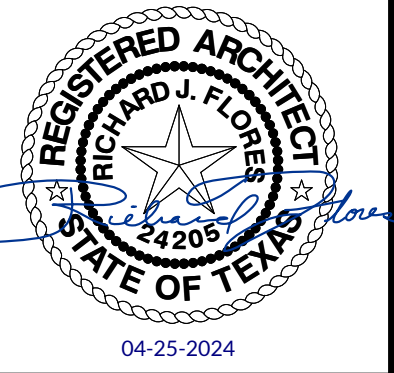
- A. PROVIDE NECESSARY PROTECTION TO INSURE THE SAFE PASSAGE OF PERSONS AROUND THE AREA OF DEMOLITION TO PREVENT DAMAGE TO THE ADJACENT MATERIALS. MAINTAIN CLEAR CORRIDORS AND FIRE EXITS AT ALL TIMES.
- B. OWNER WILL REMOVE ALL ASBESTOS MATERIAL AND OTHER RELATED MATERIALS PRIOR TO THE STARTING OF THE PROJECT OR DURING THE PROJECT UNDER SEPARATE CONTRACT. OWNER WILL SCHEDULE THIS WORK TO COORDINATE WITH CONTRACTOR'S SCHEDULE.
- C. EXISTING ITEMS CONCEALED AND NOT DISTURBED SHALL BE ABANDONED IN PLACE AFTER THEY ARE RENDERED HARMLESS AND USELESS.
- D. ALL ITEMS OR MATERIALS REMOVED FROM THE PROJECT SHALL BE MADE AVAILABLE FOR OWNER'S INSPECTION WITH THE OWNER RETAINING THE OPTION TO CLAIM ANY ITEM OR MATERIAL. ALL CLAIMED ITEMS AND MATERIALS BY THE OWNER SHALL REMAIN ON THE SITE. ALL OTHER ITEMS SHALL BE REMOVED FROM THE SITE.
- E. ALL DEMOLITION REQUIRED FOR PENETRATIONS THRU STRUCTURAL WALLS MUST BE MADE ONLY AFTER INVESTIGATION OF ACTUAL CONDITIONS (WHICH MAY OR MAY NOT BE THE SAME AS RECORDED DOCUMENTS INDICATE). PROVIDE SHORING AND BRACING AS REQUIRED FOR SPECIFIC LOCATIONS. VERIFY WITH ARCHITECT.
- F. EXISTING DOORS AND FRAMES SHALL REMAIN UNLESS NOTED OTHERWISE.
- G. CONTRACTOR SHALL SITE VERIFY ALL CONDITIONS AND MEET ALL CITY OF ABILENE CODES. ALL WORK SHALL BE EXECUTED IN STRICT ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES, ORDINANCES, AND REGULATIONS GOVERNING THE PARTICULAR CLASS OF WORK INVOLVED AS INTERPRETED BY THE INSPECTING AUTHORITY.

FLOOR PLAN LEGEND

- [Solid Line] EXISTING CONSTRUCTION TO REMAIN
- [Dashed Line] EXISTING CONSTRUCTION TO BE REMOVED
- [101] ROOM TAG
- [XXX/XXX] PLAN VIEW NUMBER
- [Ref XXX/XXX] SHEET REFERENCE NUMBER
- [X] KEYED NOTE - REFER THIS SHEET

KEYED NOTES

- 1 EXISTING RAISED ACCESS FLOORING TO BE REMOVED BY OWNER.
- 2 EXISTING ASBESTOS-CONTAINING FLOORING TO BE REMOVED BY OTHERS
- 3 EXISTING MOVEABLE DESKS TO BE SALVAGED AND STORED BY OWNER FOR RE-USE.
- 4 EXISTING CHALK/MARKER BOARD TO BE REMOVED BY OTHERS.
- 5 EXISTING CORK BOARD TO BE REMOVED BY OTHERS.
- 6 EXISTING ELECTRICAL POWER SUPPLY FOR CORRIDOR ENTRY ACCESS CONTROL. POWER SUPPLY TO REMAIN IN OPERATION. PROTECT DURING CONSTRUCTION.
- 7 EXISTING HVAC RADIATOR TO REMAIN. PROTECT DURING CONSTRUCTION. REMOVE AND REPLACE COVER AS NEEDED TO INSTALL FLOORING AND BASE.
- 8 EXISTING INSULATED HVAC PIPING TO REMAIN.
- 9 EXISTING ELECTRICAL CONDUIT TO REMAIN.
- 10 BID ALTERNATE NO. ONE. EXISTING WINDOW ASSEMBLY TO BE REMOVED BY OTHERS. BASE BID. EXISTING WINDOW TO REMAIN.
- 11 EXISTING CONFERENCE CAMERA ABOVE WHITEBOARD TO BE SALVAGED AND STORED BY OWNER FOR RE-USE.
- 12 EXISTING PROJECTION SCREEN TO BE SALVAGED AND STORED BY OWNER FOR RE-USE.
- 13 EXISTING PLASTER CEILING WITH SQUARE ACOUSTICAL ADHERED PANELS TO BE REMOVED BY OTHERS.
- 14 EXISTING SURFACE-MOUNTED LIGHT FIXTURES TO BE REMOVED BY OTHERS.
- 15 EXISTING WIFI HUB TO BE SALVAGED AND STORED BY OWNER FOR RE-USE.
- 16 EXISTING PROJECTOR, ACCESSORIES, AUDIO SPEAKERS, AND AUDIO CABLING TO BE SALVAGED AND STORED BY OWNER FOR RE-USE.
- 17 EXISTING MICROPHONE AND CABLING TO BE SALVAGED AND STORED BY OWNER FOR RE-USE.
- 18 EXISTING SURFACE-MOUNTED CONDUIT AND WIREMOLD TO BE REMOVED BY OTHERS.
- 19 NEW FLOORING AND WALL BASE THROUGHOUT ROOM. INSTALL TRANSITIONS AT ENTRANCE DOORS.
- 20 SALVAGED MOVEABLE COMPUTER DESKS BY OWNER.
- 21 SALVAGED MOVEABLE TEACHING DESK BY OWNER.
- 22 SALVAGED STANDING CABINET BY OWNER.
- 23 NEW 12 FT X 4 FT WHITEBOARD
- 24 NEW 4 FT X 4 FT CORK BOARD
- 25 SALVAGED CONFERENCE CAMERA. REINSTALL ABOVE WHITEBOARD
- 26 SALVAGED 7 FT X 4 FT PROJECTION SCREEN
- 27 SALVAGED WIFI HUB TO BE INSTALLED BY OWNER
- 28 SALVAGED PROJECTOR, ACCESSORIES, AUDIO SPEAKERS, AND AUDIO CABLING TO BE INSTALLED BY OWNER.
- 29 SALVAGED MICROPHONE AND CABLING TO BE INSTALLED BY OWNER.
- 30 NEW ACOUSTICAL CEILING PANELS AND GRID
- 31 NEW LIGHTING FIXTURE. REFER TO ELECTRICAL
- 32 PAINTED GYPSUM BOARD FURR DOWN USING SUSPENDED DRYWALL GRID FRAMING
- 33 NEW MANUALLY OPERATED WINDOW SHADE. PROVIDE THREE PER WINDOW ASSEMBLY. REFER TO A3.0 FOR WINDOW ELEVATION.
- 34 SALVAGED 16 FT X 4 FT WHITEBOARD
- 35 NEW 16 FT X 4 FT WHITEBOARD
- 36 PAINTED GYPSUM BOARD ON SUSPENDED DRYWALL GRID FRAMING
- 37 NEW CONDUIT FOR POWER AND DATA FROM TRENCH INTO ATTIC SPACE; REFER TO SHEET A6.0 AND ELECTRICAL
- 38 REROUTED DATA CONDUIT FOR CAMERA
- 39 NEW DATA CONDUIT FOR PROJECTOR AND TEACHING WALL, REFER TO ELECTRICAL
- 40 EXISTING WINDOW SHADES TO BE REMOVED BY OTHERS



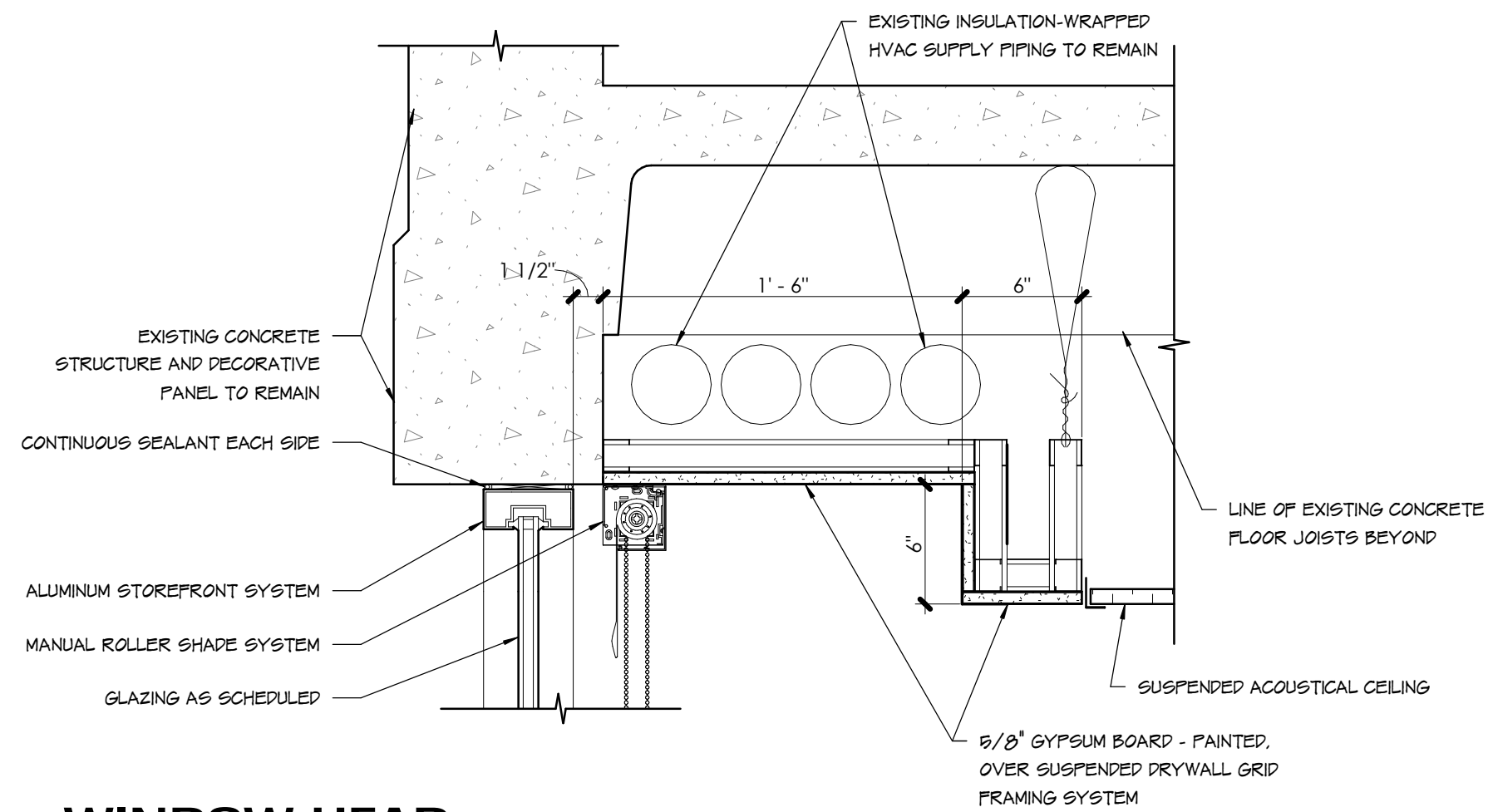
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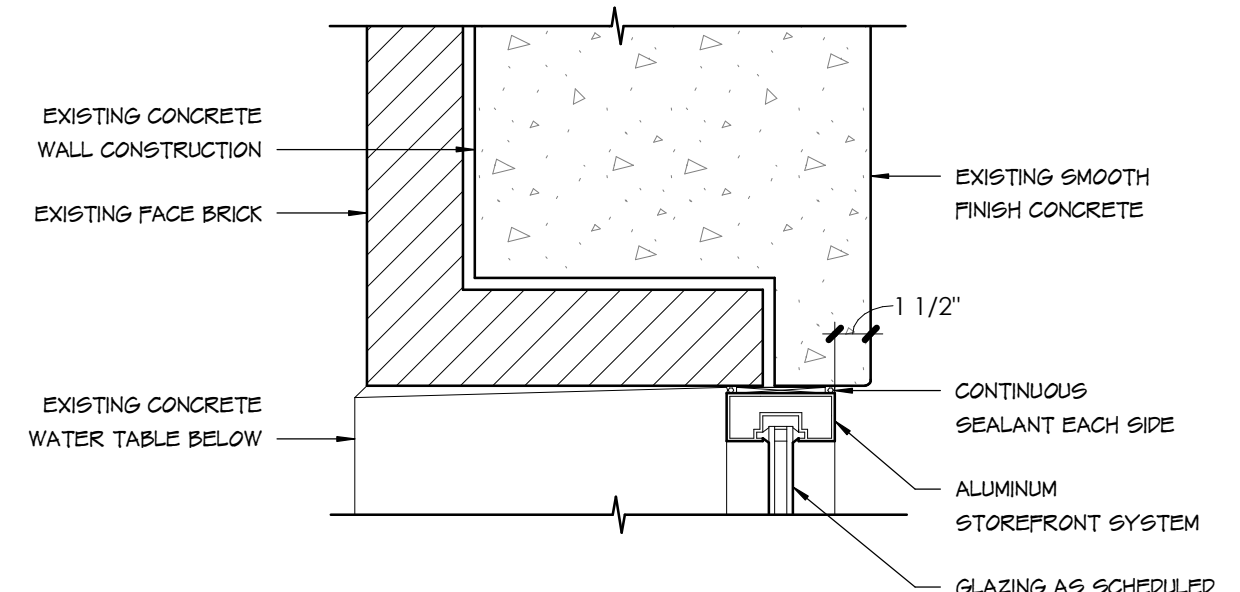
MCMURRY UNIVERSITY
COOKE BUILDING CLASSROOM REMODEL

ENLARGED PLANS - RM 110

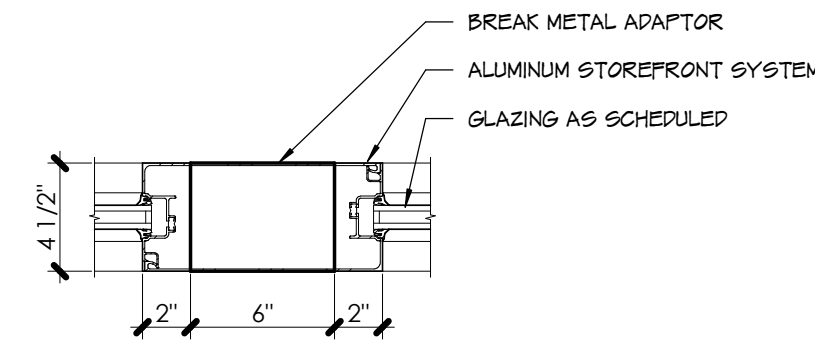
DATE	04-25-2024
NO.	1
REVISION	ADDENDUM 1
SEQ.	SHEET
PROJECT #	23528
SCALE	As Indicated
BAR IS ONE INCH IN LENGTH ON ORIGINAL DRAWING. CHECK SCALE AND ADJUST ACCORDINGLY.	



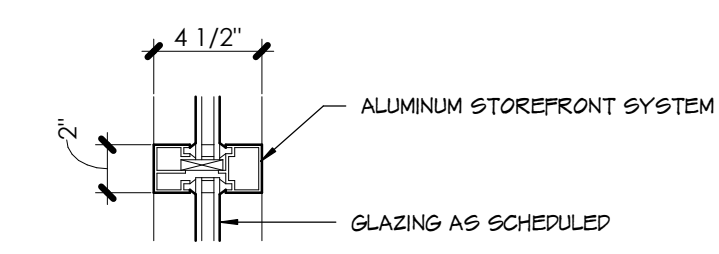
4 WINDOW HEAD
SCALE: 1 1/2" = 1'-0"



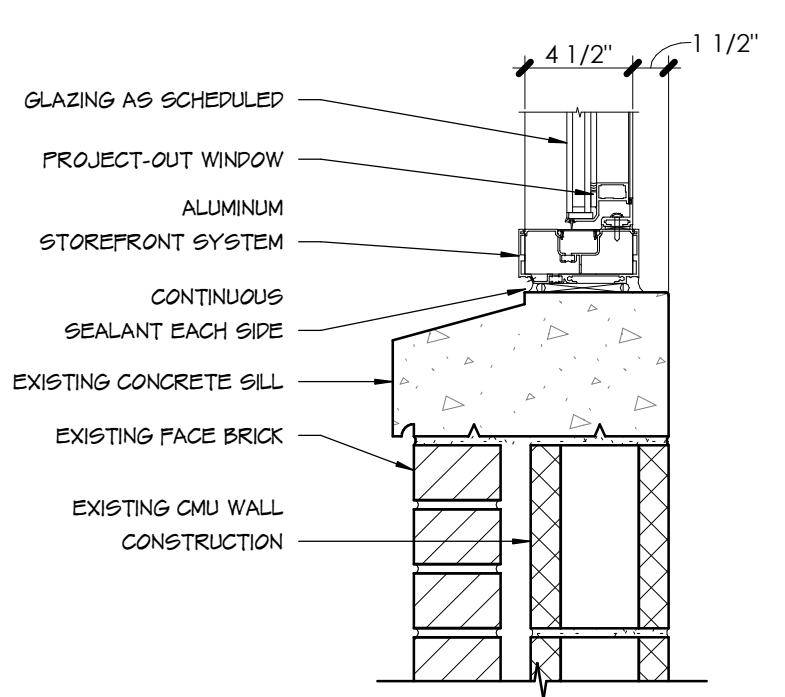
3 WINDOW JAMB
SCALE: 1 1/2" = 1'-0"



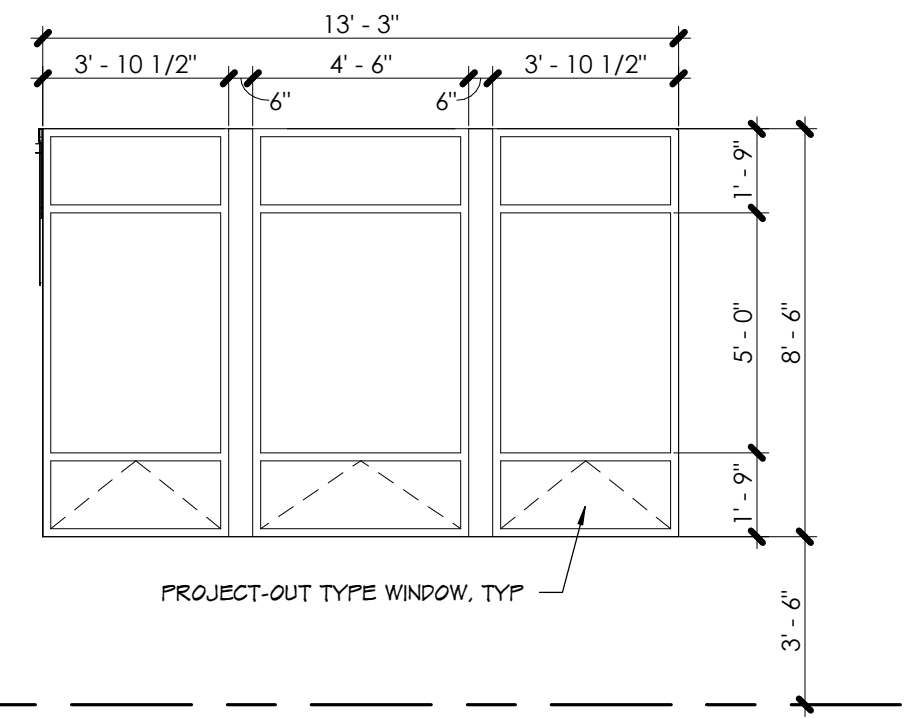
6 VERTICAL MULLION
SCALE: 1 1/2" = 1'-0"



5 HORIZONTAL MULLION
SCALE: 1 1/2" = 1'-0"



2 WINDOW SILL
SCALE: 1 1/2" = 1'-0"

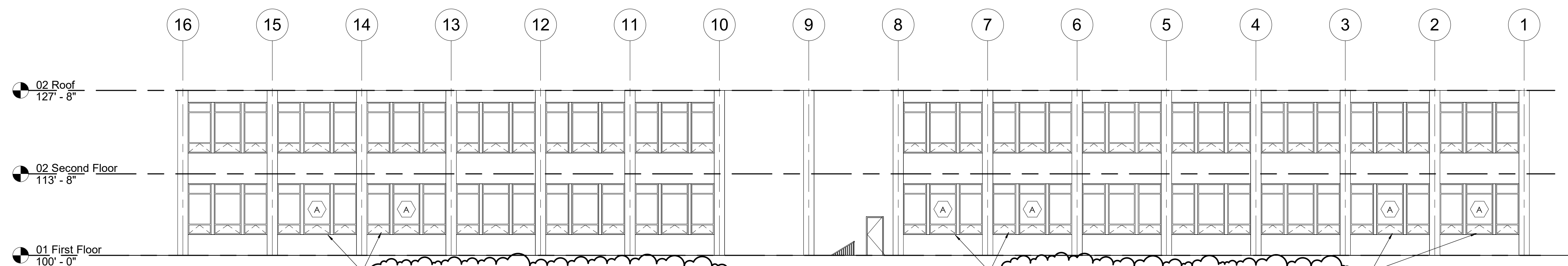


ALTERNATE NO. ONE: WINDOW ELEVATION
SCALE 1/4" = 1'-0"

ALTERNATE NO. ONE: GLAZING SCHEDULE

MARK	GLASS TYPE	OVERALL UNIT THICKNESS	THICKNESS EACH LITE	OUTDOOR LITE	OUTDOOR LITE COATING	INTERSPACE CONTENT	INDOOR LITE	WINTER U-FACTOR	SHGC	VISIBLE LIGHT TRANSMITTANCE	NOTES
A	INSULATING GLASS, TINTED	1"	6.0 MM	PPG SOLARBAN 70	PPG SOLARGRAY 70 ON 2ND SURFACE	AIR	CLEAR FLOAT GLASS	.28	.19	32%	1

NOTES:
1. FULLY TEMPERED GLASS LITES WITH SAFETY GLAZING LABELING IN LOCATIONS REQUIRED BY CODE.



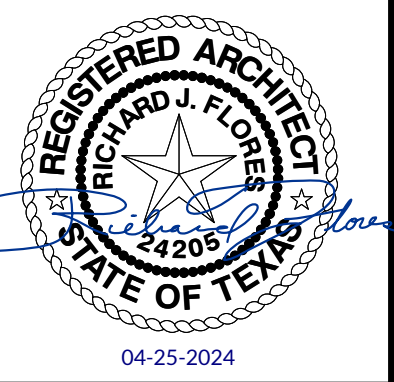
1 SOUTH EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

ALTERNATE NO. ONE, INSTALL NEW WINDOW ASSEMBLIES WITHIN EXISTING ROUGH OPENINGS; EXISTING WINDOWS TO BE REMOVED BY OTHERS; BASE BID; EXISTING WINDOWS TO REMAIN.

ALTERNATE NO. ONE, INSTALL NEW WINDOW ASSEMBLIES WITHIN EXISTING ROUGH OPENINGS; EXISTING WINDOWS TO BE REMOVED BY OTHERS; BASE BID; EXISTING WINDOWS TO REMAIN.

ROOM NO.	ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	CEILING HEIGHT	COMMENTS
106	CLASSROOM	F1	B1	W1/W2	C1	11'-6"	1
108	CLASSROOM	F1	B1	W2	C1	11'-6"	1
110	CLASSROOM	F1	B1	W2	C1	11'-6"	1

FLOORING	COMMENTARY
F1 LVT	1. REFER TO FINISH SELECTIONS BELOW FOR BASIS OF DESIGN.
BASE	FINISHES
B1 RUBBER BASE	WALL PAINT = SHERWIN WILLIAMS PRO-MAR 400 SEMI-GLOSS; SW 7671 ON THE ROCKS
WALLS	CEILING PAINT = SHERWIN WILLIAMS PRO-MAR 400 SEMI-GLOSS; SW 7006 EXTRA WHITE
W1 PAINTED GYPSUM BOARD	DOOR FRAME PAINT = SHERWIN WILLIAMS PRO-MAR 400 SEMI-GLOSS; MATCH EXISTING PAINT COLOR
W2 PAINTED CMU	LVT = PATCRAFT LOCAL RESERVE 1592V; JUTE 02001; STAGGER INSTALLATION METHOD
CEILING	FLEXCO WALLFLOWERS; 078 UMBER
C1 ACOUSTICAL CEILING TILE	ACOUSTICAL CEILING = USG WHITE PANELS + WHITE TRIM



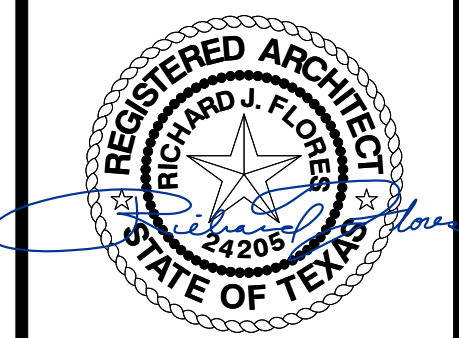
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JACOB MARTIN

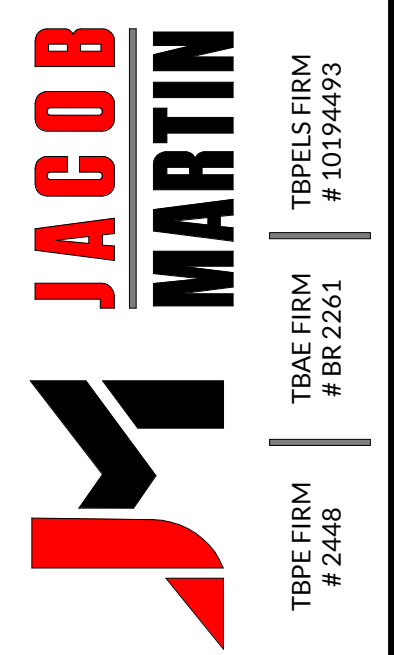
TBPELS FIRM # 10194493
TBAE FIRM # BR 2261
TBPE FIRM # 2448

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ROOM FINISH SCHEDULE AND WINDOW DETAILS

DATE	04-25-2024
NO.	REVISION
1	ADDENDUM 1
PROJECT #	23528
SCALE	As Indicated
SEQ.	SHEET
	A3.0



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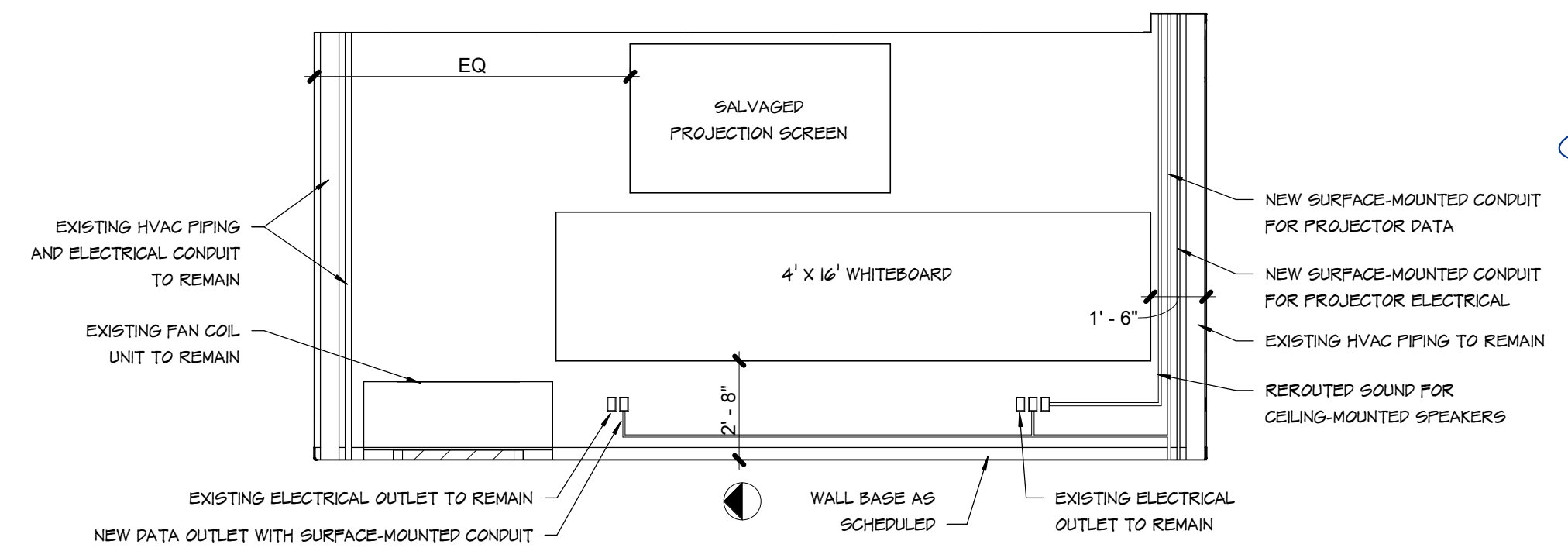
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INTERIOR ELEVATIONS

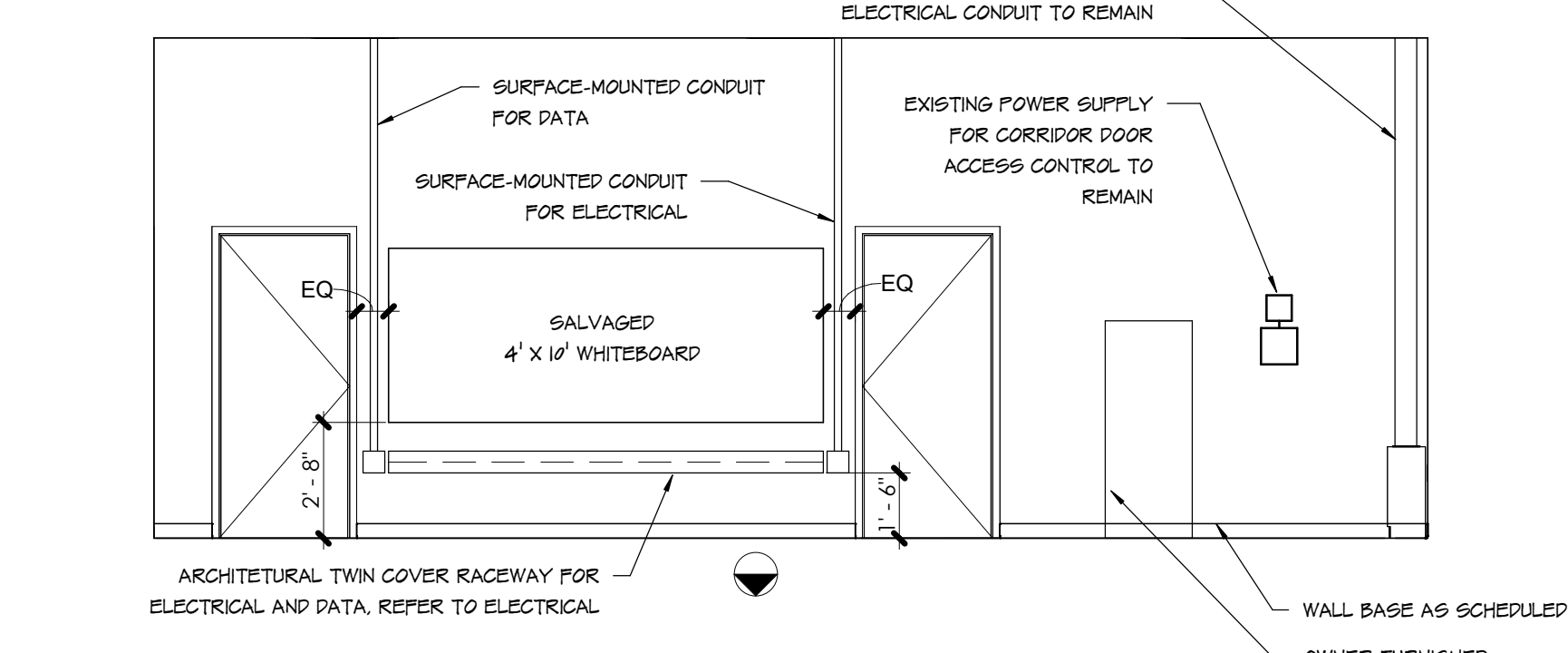
DATE	04-25-2024
NO.	REVISION
1	ADDENDUM 1
PROJECT #	SCALE
23528	1/4" = 1'-0"
SEQ.	SHEET

A6.0

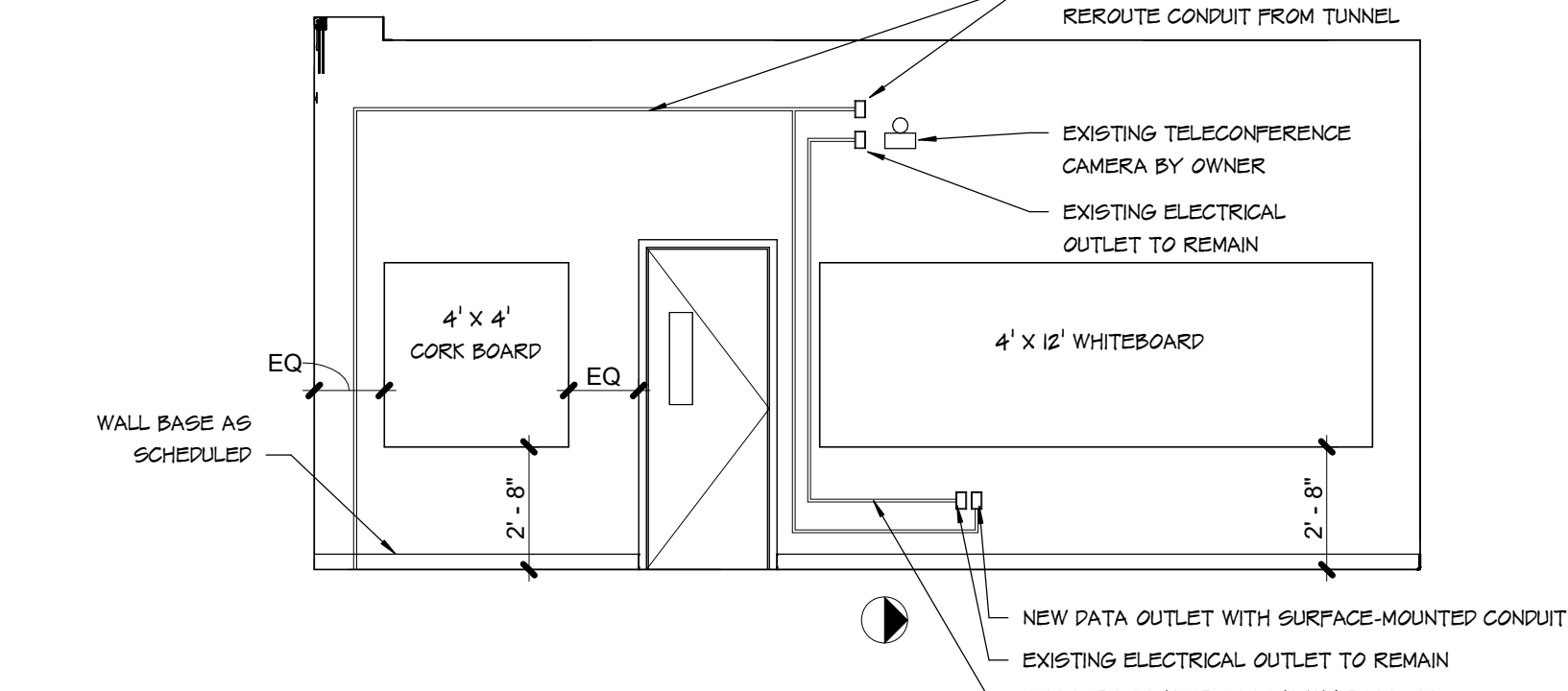
10 INTERIOR ELEVATION RM 110
SCALE: 1/4" = 1'-0"



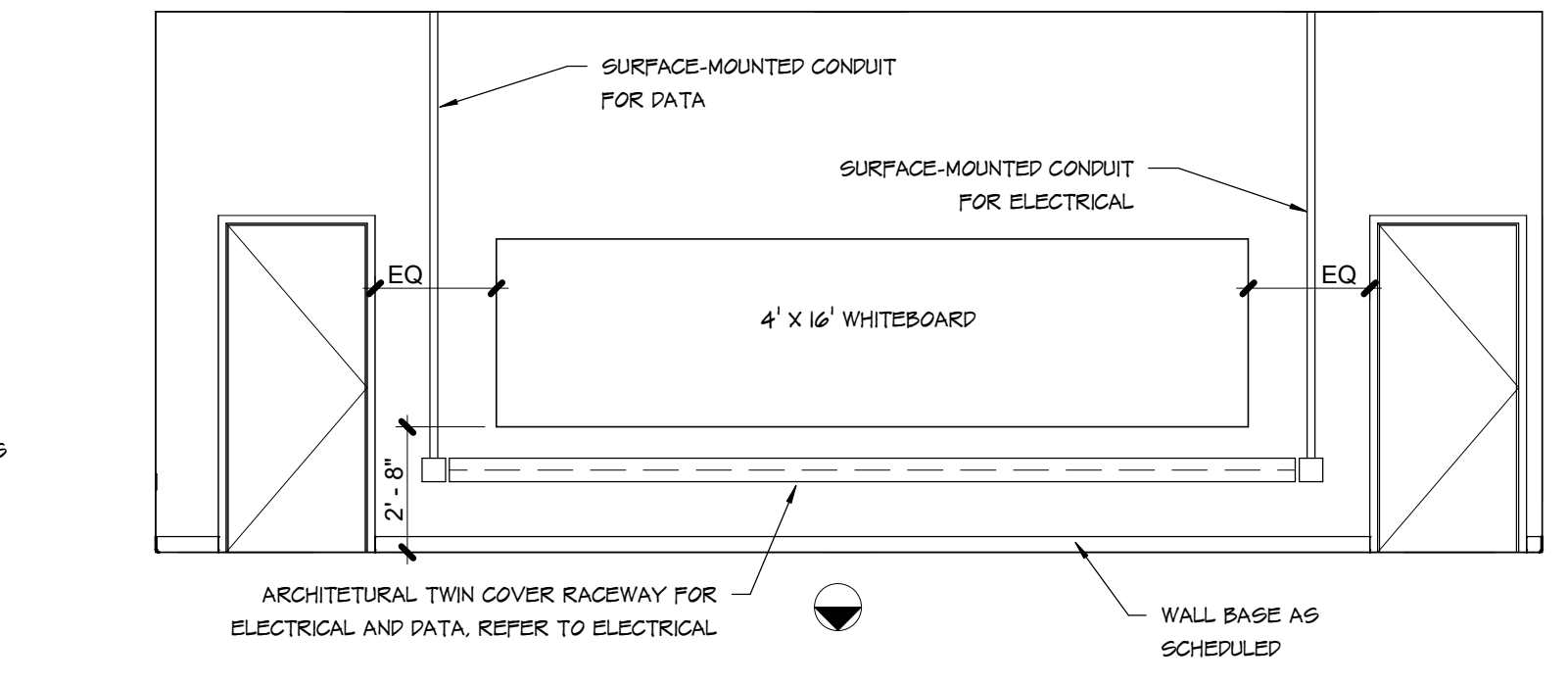
11 INTERIOR ELEVATION RM 110
SCALE: 1/4" = 1'-0"



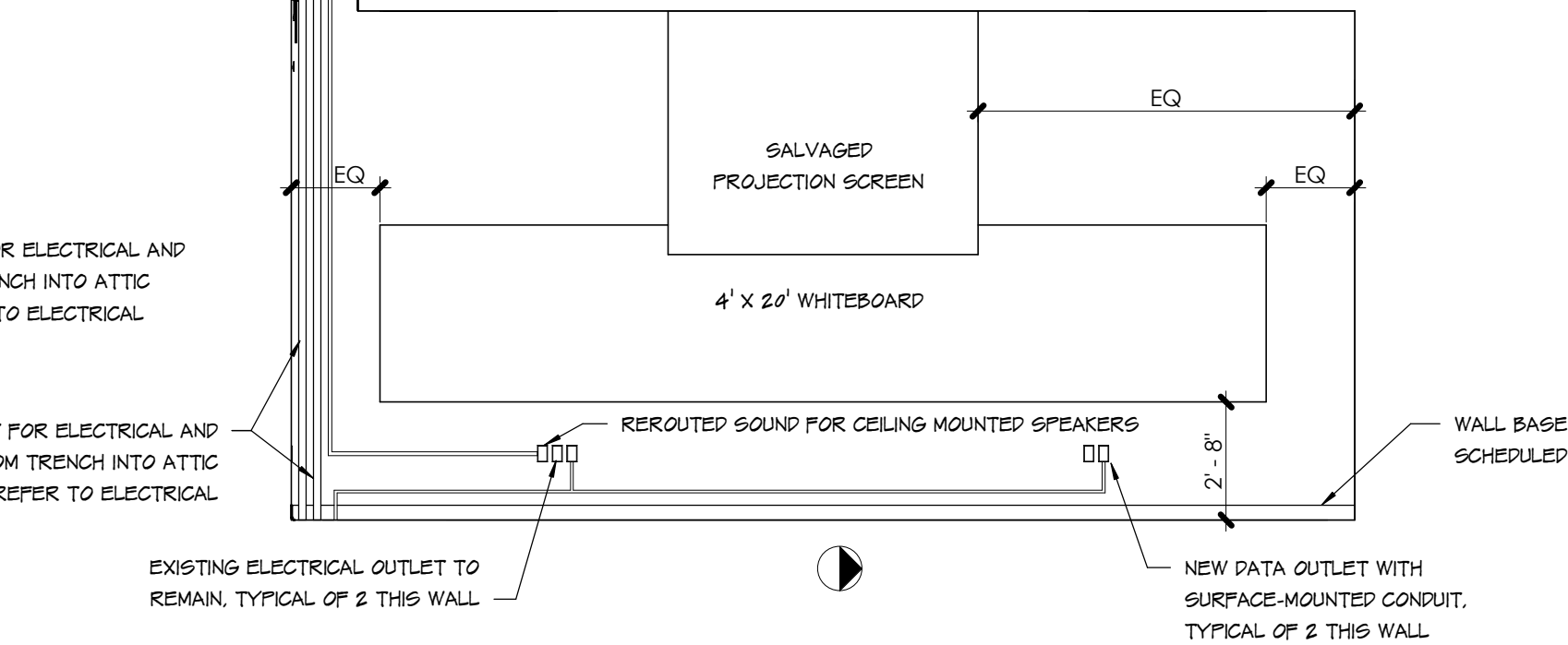
12 INTERIOR ELEVATION RM 110
SCALE: 1/4" = 1'-0"



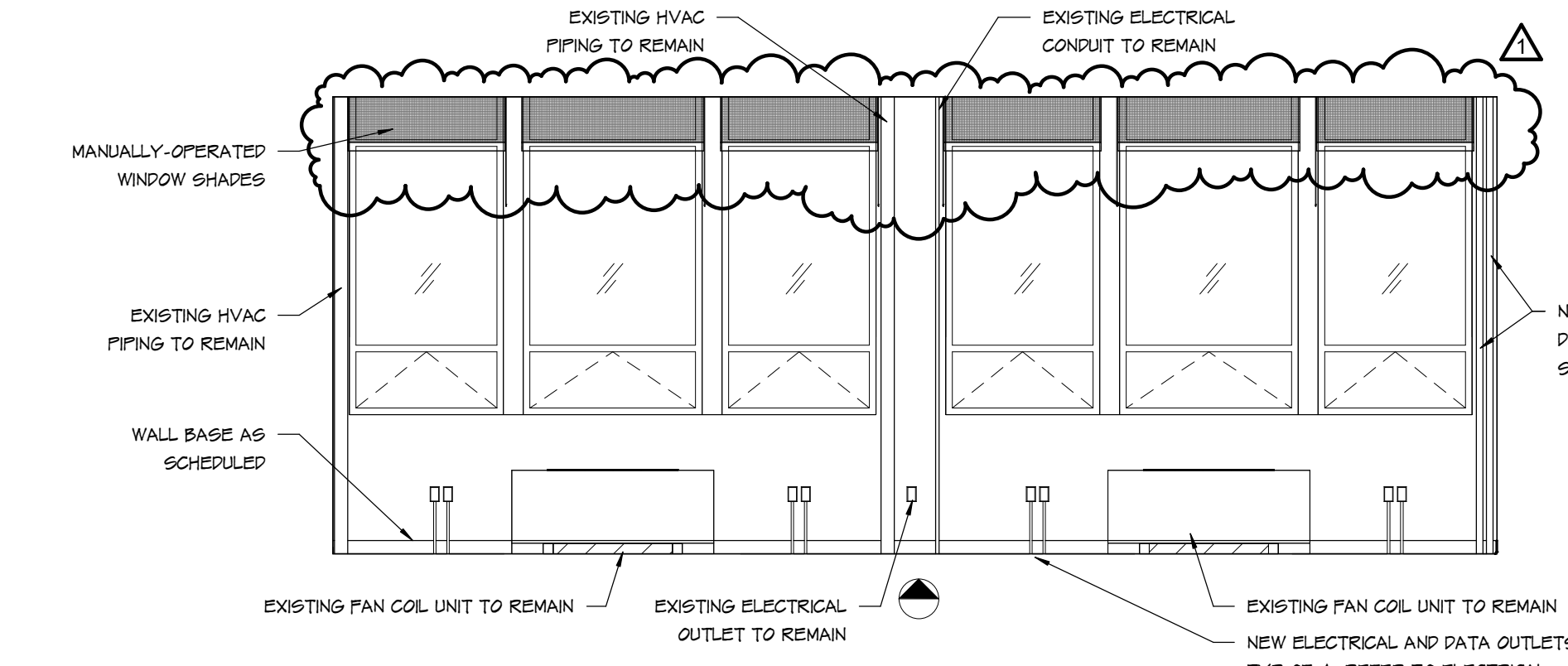
7 INTERIOR ELEVATION RM 108
SCALE: 1/4" = 1'-0"



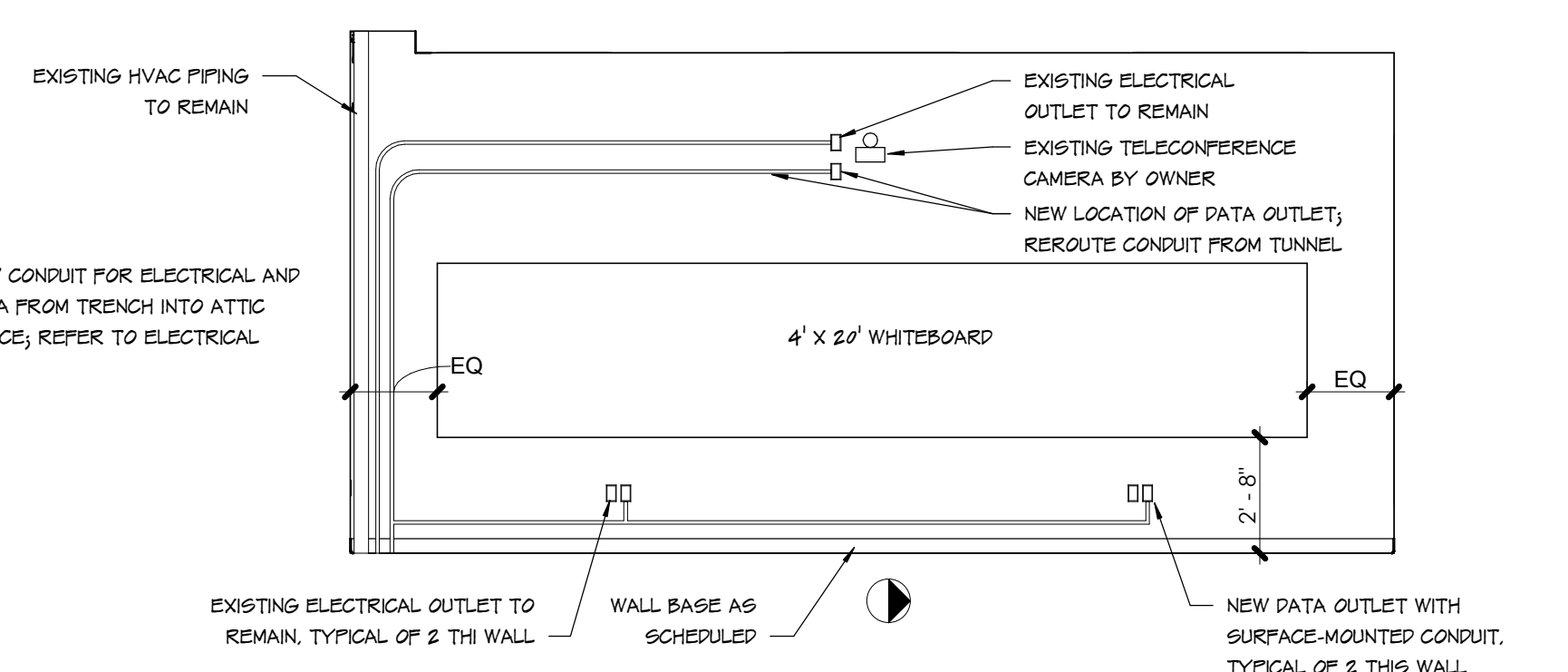
8 INTERIOR ELEVATION RM 108
SCALE: 1/4" = 1'-0"



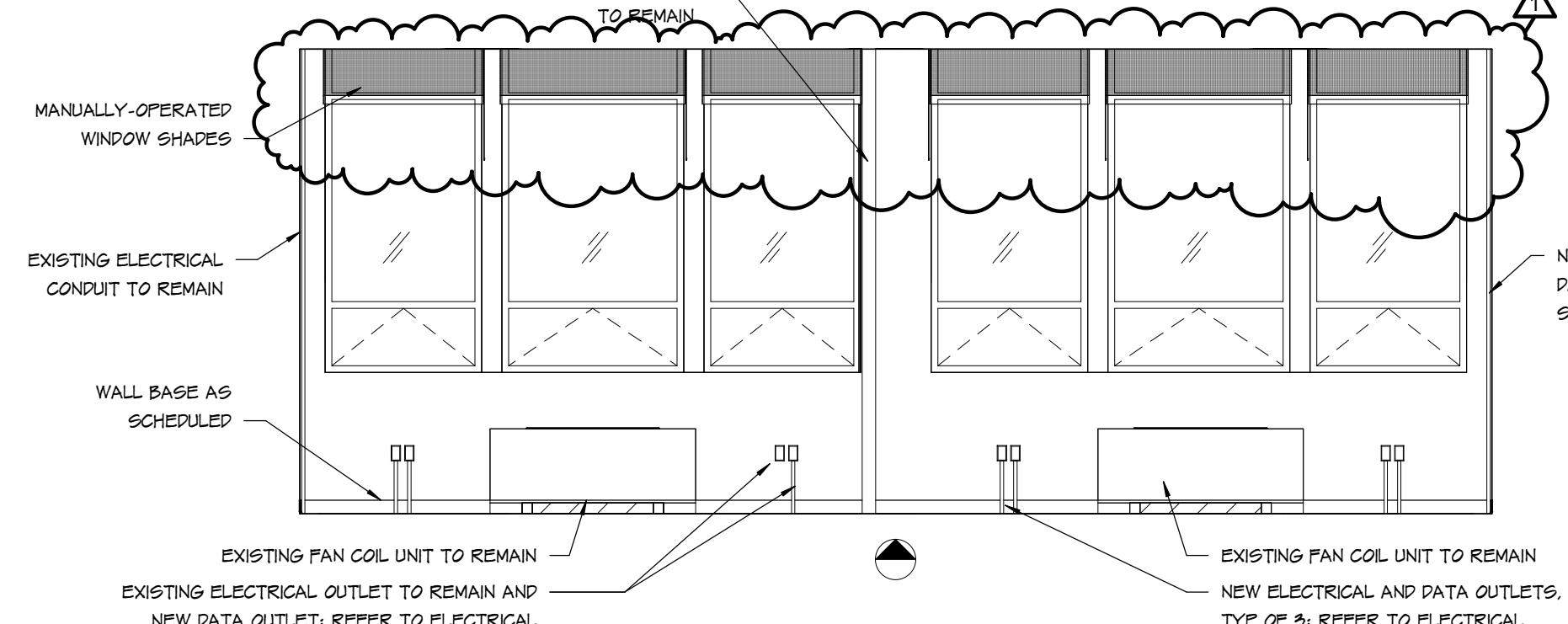
9 INTERIOR ELEVATION RM 110
SCALE: 1/4" = 1'-0"



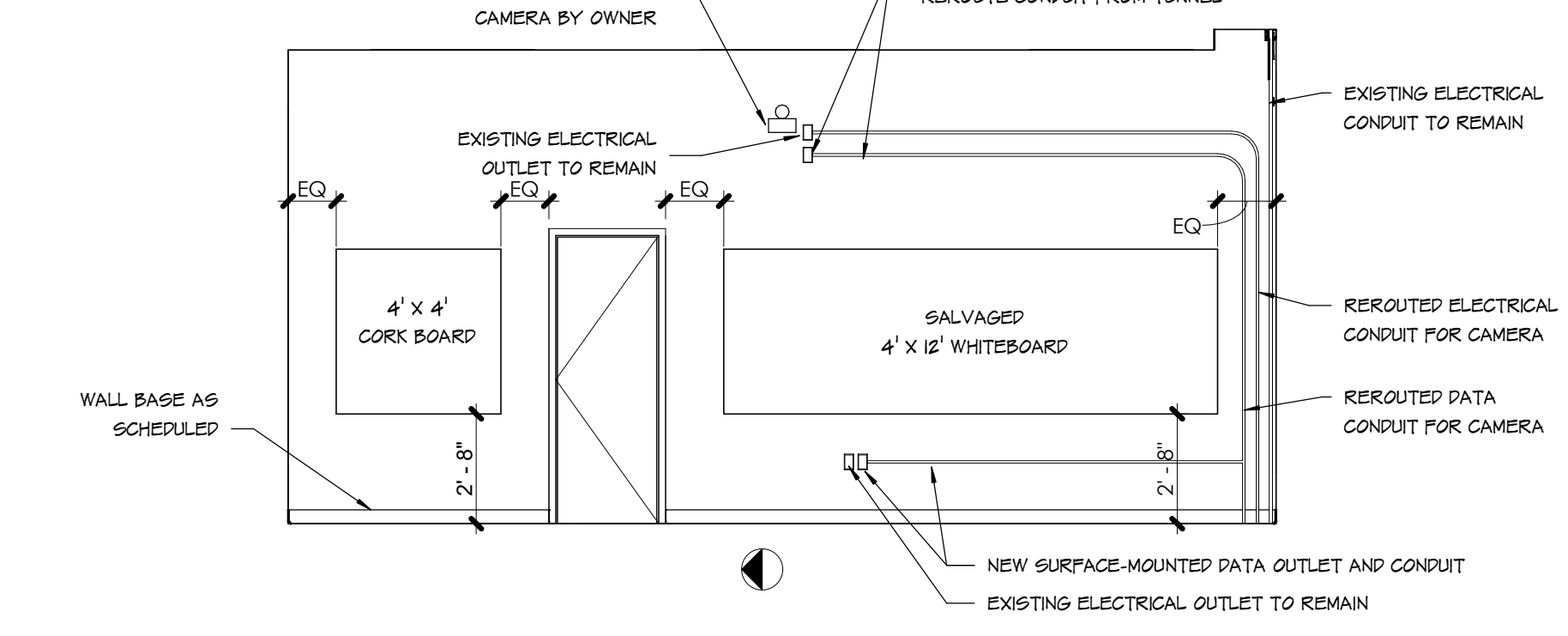
4 INTERIOR ELEVATION RM 106
SCALE: 1/4" = 1'-0"



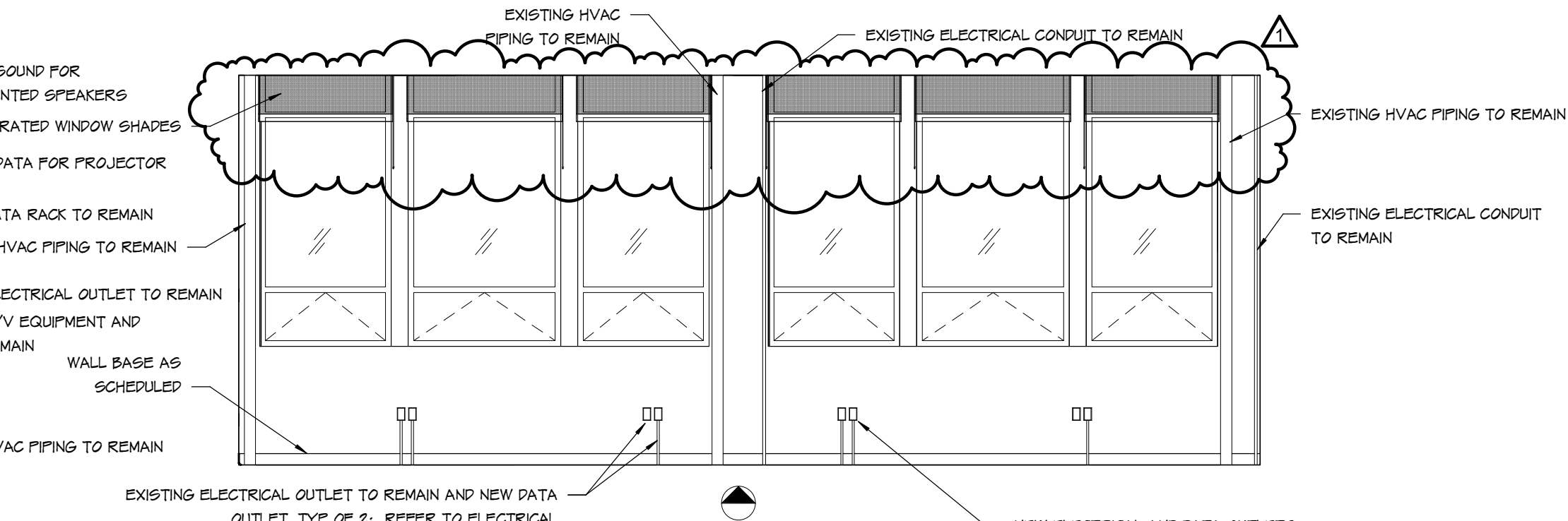
5 INTERIOR ELEVATION RM 108
SCALE: 1/4" = 1'-0"



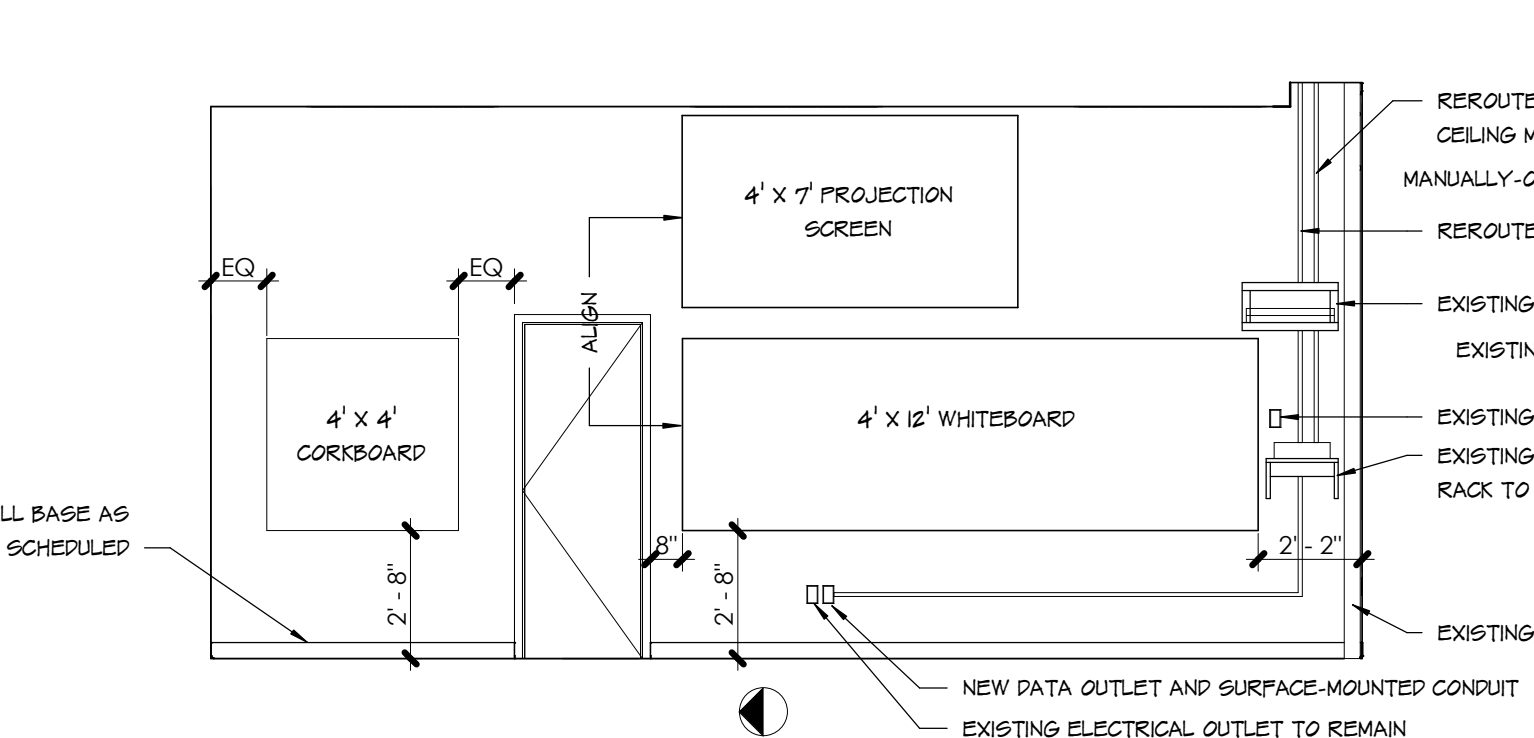
6 INTERIOR ELEVATION RM 108
SCALE: 1/4" = 1'-0"



1 INTERIOR ELEVATION RM 106
SCALE: 1/4" = 1'-0"



2 INTERIOR ELEVATION RM 106
SCALE: 1/4" = 1'-0"



3 INTERIOR ELEVATION RM 106
SCALE: 1/4" = 1'-0"

